

Zoning Bylaw

Draft Directions

VERSION 1
2024



**OUR WAY
TO 2033**
CASTLEGAR

Interactive Document Style Guide

- Cross-Reference** Indicates an active link to a cross-reference within the document
Will jump you to the appropriate page with the cross-reference
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Interactive Buttons



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Jump to the next page
Best if used in full screen as it may jump you 2 pages

Note: There are a lot of cross-references in this document (2,300+). We've done our best to make them all active, but are still trouble-shooting a few as we work through the drafts.

We felt it was more important to get it in front of you for review while we work on fine tuning.

Castlegar Zoning Bylaw Version Tracking

Version	Summary	Key Department(s)	Draft Sent Date:	Comments Received Date:
1	1 st Rough Draft	Planning & Development	March 25, 2024	March 29, 2024
2	All Departments Review	All Departments	April 12, 2024	-
3	Public Draft Version	Public / Citizens / Agencies / Comms	April 26, 2024	
4	1 st Reading Version	Council		
5	2 nd / 3 rd Reading Version (as needed)	Council		
6	Final Approved Version	Council		

Gold Highlight Indicates Current Draft

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Part 1: Administration

1.1 Title

1.1.1. This Bylaw may be cited as “Zoning Bylaw No. XXX, XXXX”.

1.2 Applicability

- 1.2.1. This Bylaw is applicable to all land, Buildings, and other Structures including the surface of water within the boundaries of the *City* of Castlegar.
- 1.2.2. No person will *Use*, occupy, or permit any person to *Use* or occupy any land, *Building*, or *Structure* in contravention of this Bylaw.
- 1.2.3. Nothing contained in this Bylaw will relieve any person from the responsibility to seek and comply with other municipal, provincial, or federal legislation applicable to that *Use*, activity or other matter regulated under this Bylaw.
- 1.2.4. Every *Use* of land, Building or Structure permitted in each *Zone* must conform to all the regulations of the applicable *Zone* and all other regulations in this Bylaw.

1.3 Severability

1.3.1. If any part, section, subsection, clause, sentence or phrase of this Bylaw is for any reason held to be invalid by the decision of any court of competent jurisdiction, the invalid portion shall be severed and the decision that is invalid shall not affect the validity of the remainder of the Bylaw.

1.4 Enforcement

- 1.4.1. The Chief Administrative Officer, *Building Inspector*, the Bylaw Enforcement Officer, and any other person appointed by *Council* are hereby authorized to administer this Bylaw and are authorized to enter, at any reasonable hour all days of the week, upon any land, Building or Structure for the purpose of administering this Bylaw.
- 1.4.2. Any person who violates any of the provisions of this Bylaw or prevents, obstructs, or attempts to prevent or obstruct the authorized entry of the Chief Administrative Officer, *Building Inspector*, the Bylaw Enforcement Officer, and any official authorized to administer this Bylaw, must be deemed to have violated the provisions of this Bylaw.

1.5 General Prohibitions

- 1.5.1. All *Development* shall comply with the British Columbia Building Code and thereby shall obtain all required permits.
- 1.5.2. No *Development* may occur except in conformity with this Bylaw.
- 1.5.3. A *Use*, *Building* or *Structure*, which was lawful at the time of the adoption of this Bylaw but fails to comply with the provisions of this Bylaw, is governed by the [Local Government Act](#) and its amendments thereof.

1.6 Permitted & Prohibited Uses

- 1.6.1.** No land, Building, or Structure may be used for any *Use* other than those specifically listed under the headings "Permitted Uses", "Accessory Uses" or "Conditional Uses" in the *Zone* in which the land, Building, or Structure is located, and no Building or Structure may be placed, constructed, sunk into, erected, moved, sited, altered or enlarged for any *Use* other than uses specifically permitted in that *Zone*.
- 1.6.2.** A *Use* listed under "Accessory Uses" is only permitted if a Principal *Use* listed under the "Permitted Uses" is lawfully established and ongoing in accordance with the general regulations applicable to the *Use*, as identified in this Bylaw.
- 1.6.3.** Where a *Use* does not meet the minimum requirements for that *Use* in the *Zone* it is not permitted, unless the *Lot* was created prior to the adoption of this Bylaw and no other permitted *Use* is available for the *Lot*.
- 1.6.4.** A *Use* not specifically permitted in a Zone is prohibited from that Zone unless otherwise permitted in a Temporary *Use* Permit.
- 1.6.5.** The *Use* of a tent, trailer, *Park Model Trailer*, motor home or other *Recreational Vehicle* as a permanent residence is prohibited in all zones.
- 1.6.6.** A space or room within a tent or a *Recreational Vehicle* that is erected, parked, or stored on a *Lot* longer than 30 consecutive days shall not be used for a habitable room or storage of merchandise.
- 1.6.7.** Notwithstanding the other regulations of this section, the following uses are permitted in all *Zones*:
- a) Parks, playgrounds, public recreation facilities, and open space conservation areas;
 - b) Public service uses;
 - c) Community garden; and
 - d) Roads, Lanes and pathways.

1.7 Change of Uses

- 1.7.1.** A *Use* of land, *Building* or *Structure* shall not be changed unless all necessary permits have been obtained.
- 1.7.2.** A *Use* of land, *Building* or *Structure* shall not be changed except when the new *Use* is permissible within the zone where such *Lot*, *Building* or *Structure* is located.

1.8 Penalties

- 1.8.1.** Every person who violates a provision of this Bylaw, or who consents, allows, or permits an action to be done in violation of this Bylaw, or who neglects or refrains from doing anything required by a provision of this Bylaw:
- a) Shall be liable to any conditions set out by the *City* of Castlegar; or
 - b) Shall be liable, upon summary conviction, to the penalties provided under the *Offence Act*.
- 1.8.2.** Each day that an offence against this Bylaw continues may be deemed a separate and distinct offence.
- 1.8.3.** If any provision of this Bylaw is held to be invalid, the invalid portion shall be severed from the Bylaw and that invalidity shall not affect the remainder of the Bylaw.

Part 2: Rules of Interpretation

2.1 General Interpretations

- 2.1.1. Words used in the present tense include the other tenses and derivative forms; words used in the singular include the plural and vice versa; and the word "person" includes a corporation, firm, partnerships, trusts, and other similar entities as well as an individual. Words have the same meaning whether they are capitalized or not.
- 2.1.2. The words "shall" and "is" require mandatory compliance except where a variance has been granted pursuant to the [Local Government Act](#).
- 2.1.3. The phrase "used for" includes "arranged for", "designed for", "maintained for", or "occupied for".
- 2.1.4. Words, phrases, and terms defined neither in this section nor in the [Local Government Act](#) shall be given their usual and customary meaning.

2.2 Dimensions Used in This Bylaw

- 2.2.1. All dimensions and other measurements in this Bylaw are expressed in the metric system.

2.3 Zoning Map & Boundaries

- 2.3.1. The zoning classification for all lots shall be determined based upon the Zoning Map, which is attached to this Bylaw as [Schedule A](#) and forms a part of this Bylaw.
- 2.3.2. Where a zone boundary is designated as following a street, *Lane*, *Utility* corridor, railway or a *Watercourse*, the centre line of the street, *Lane*, *Utility* corridor, railway, creek, or the visible high watermark of the Columbia River shall be the zone boundary.
- 2.3.3. Where a zone boundary does not follow a legally defined line, and where distances are not specifically indicated, the location of the boundary shall be determined as measured from the Zoning Map.
- 2.3.4. Where a *Lot* is divided by a zone boundary, the areas created by such division shall be deemed to be separate lots for the purpose of determining the requirements of this Bylaw.

Part 3: Building & Lot Regulations

3.1 Principal Buildings

- 3.1.1. Except as otherwise specified in a definition or Zone, a maximum of one (1) Principal Building may be sited on one *Lot*.

3.2 Subdivision of Land

- 3.2.1. No subdivision may be approved:
 - a) Except in conformity with this Bylaw; or
 - b) So as to cause any existing Building or Structure on the same *Lot* to violate the provisions of this Bylaw.
- 3.2.2. No *Lot* shall be created that does not meet the minimum specifications in the applicable zone.
- 3.2.3. Despite the minimum Frontage (*Lot Width*) requirements stated in this Bylaw, all Lots located on curves or *Cul-de-sacs* shall have a minimum Frontage of 6.0 m.
- 3.2.4. Notwithstanding Subsection 3.2.2 above Minimum *Lot* Area provisions of this Bylaw do not apply when the *Lot* is used for an uninhabited Building necessary for the operation of:
 - a) A public *Utility* including, community water system, sewer system or gas distribution system;
 - b) A cell, radio, television or broadcasting antenna;
 - c) A telecommunication relay station;
 - d) A navigational aid;
 - e) An electrical substation or emergency power generating station; or
 - f) A park or playground.
- 3.2.5. Where the dedication of land for road widening purposes results in non-conforming *Setbacks* to existing *Buildings* or *Structures*; the siting of existing *Buildings* and *Structures* are deemed to conform to the *Setback* requirements of this Bylaw.
- 3.2.6. Where the dedication of land for road widening purposes results in non-conforming siting, number, or dimensions of existing Off-*Street* Parking; the siting, number, and dimensions of existing Off-*Street Parking Spaces* will be deemed to conform to the requirements in this Bylaw.
- 3.2.7. Where the dedication of land for road widening purposes results in the existing *Lot* not conforming with the minimum *Lot* requirements; the existing *Lot* will be deemed to conform with the minimum *Lot* requirements in this Bylaw.

3.3 Siting of Uses, Buildings & Structures

3.3.1. Any portion of a Building or Structure located below *Grade* is subject to all Setbacks for the Zone in which the Building or Structure is located.

3.3.2. In addition to minimum Setback requirements of other parts of this Bylaw:

- a) In any **Zone** other than the C1 or C2 **Zones**, no Fence, wall, Structure, Parking Space or Loading Area or outside storage area shall be erected to a **Height** greater than 1.1m and no hedge, bush, shrub, tree or other growth shall be maintained or allowed to grow so as to obstruct vision clearance in the area bounded by the projected intersecting **Lot Lines** at a street or Lane corner and a line joining points along Side Lot Lines 6.0 m from their point of intersection, as illustrated in **Figure 1**.
- b) In any Zone fronting an Arterial **Highway**, vision clearance at intersections shall be governed by the **Transportation Act**.

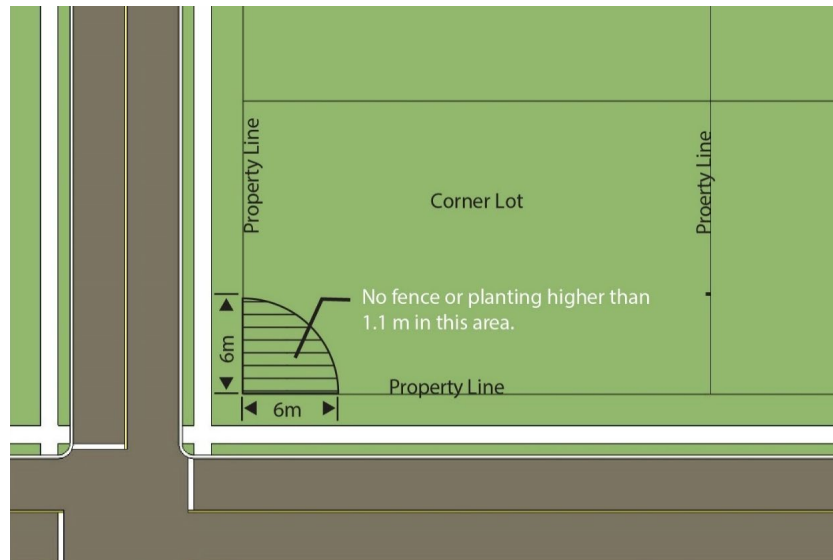


Figure 1: Visibility Corner Triangle

There are no design drawings in Castlegar's Subdivision Bylaw. They reference schedule drawings, but you can't find them online. Engineering will have to review the 6.0m setback to ensure it is consistent with any drawings they may have.

3.4 Permitted Projections Into Setbacks

3.4.1. Notwithstanding **Policy 3.3.1** and **Policy 3.3.2**, the following projections into the Setback are permitted despite minimum Setback requirements:

- a) Signs.
- b) **Fences**.
- c) The Interior Side Setback requirements of this Bylaw do not apply where there is a **Party Wall** shared by two or more **Dwelling Unit(s)**.
- d) Roof overhangs/gutters, bay windows, sills, cornices and eaves provided they are not closer than 1.0 m from any **Lot Line**.
- e) Uncovered steps or wheelchair ramps are permitted to project into the **Setback** provided they are not closer than 1.0 m from any **Side Lot Line**.

- f) Balconies, uncovered decks, patios, awnings are permitted to project into the **Setback** provided they are not closer than 2.0 m from any **Lot Line**.
- g) Arbors, trellises, fish ponds, ornaments, flag poles or similar Landscape features, provided they are not closer than 1.0 metre from any **Lot Line**.
- h) Porches and uncovered residential decks are permitted to project into the Front Setback to a maximum projection of 2.0 metres.
- i) On Lots fronting Arterial **Highways**, in accordance with the **Transportation Act**, no **Building** shall, without the consent of the Minister, be placed within a distance of 4.5 metres from the property line fronting on any Arterial **Highway** within a Municipality. On any access to the property, the distance is reduced to 3.0 metres.

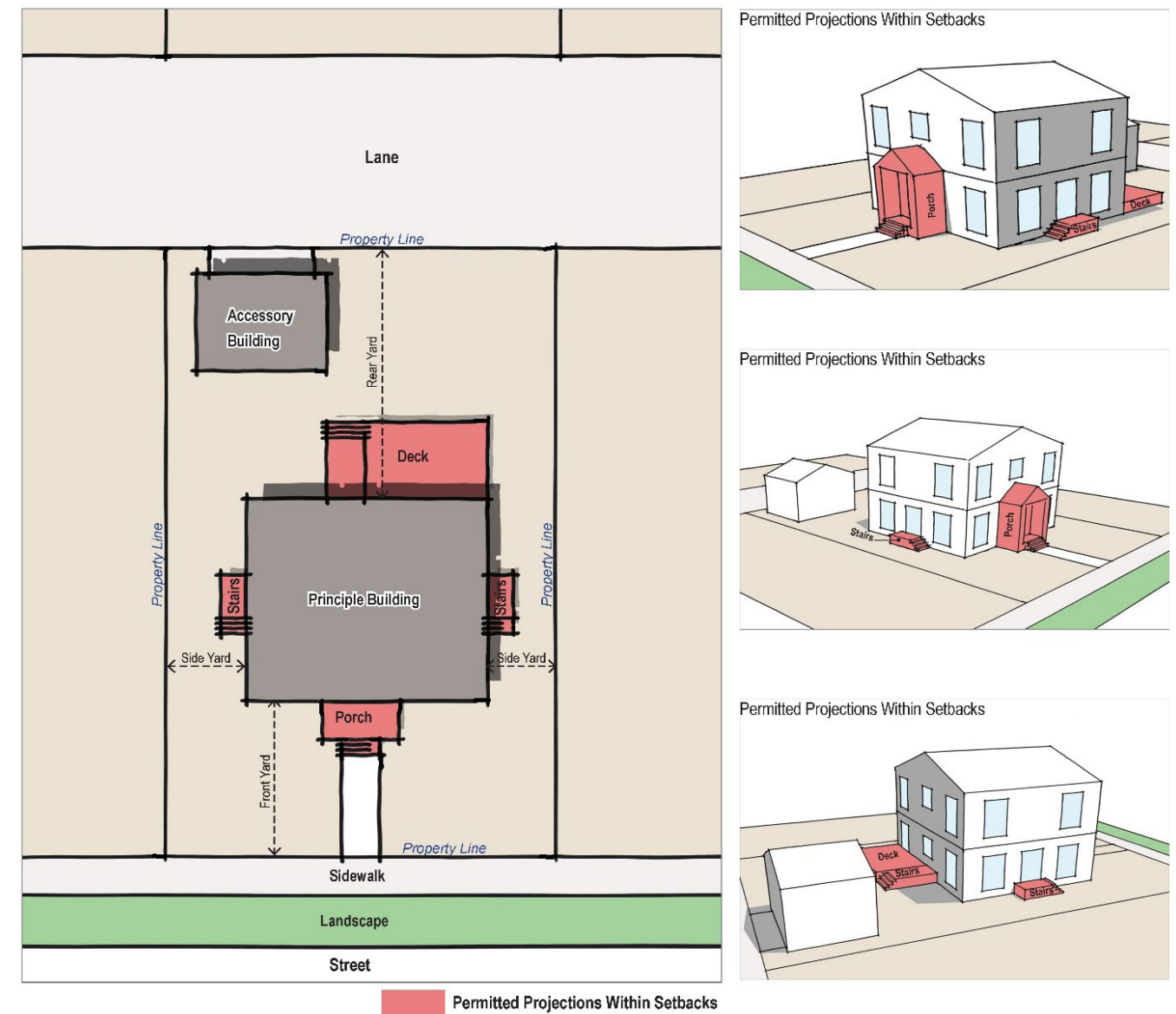


Figure 2: Permitted Projections into Setbacks

3.5 Encroachments

- 3.5.1. No *Building* or *Structure* shall encroach onto a street, *Lane*, *Utility* corridor or another *Lot*.
- 3.5.2. Despite [Policy 3.5.1](#), above canopies, decks, or awnings attached to a *Building* with ground floor commercial uses may encroach onto a street where it provides a minimum of 2.8 m vertical clearance from the surface of the street and maintains a minimum horizontal distance of 0.6 m from the curb.
- 3.5.3. When a *Building*, *Structure*, *Sign*, or any part of it encroaches onto a *Highway* or a public place, the owner shall enter into an encroachment agreement in accordance with the [City's Highway Encroachment Bylaw](#) and any amendments thereto from time-to-time.

3.6 Building Height Exceptions

- 3.6.1. Despite the specific provisions of this Bylaw with respect to maximum *Building Height* requirements, the following *Buildings* and *Structures* may be higher than the maximum otherwise allowed:
- a) Retaining walls;
 - b) Radio and television antennas;
 - c) Cellular towers;
 - d) Flags;
 - e) Church spires, steeples, and belfries, monuments, towers;
 - f) Chimneys and smokestacks, silos, rooftop HVAC machines and equipment; and
 - g) Drive-in theatre screens.
- 3.6.2. [Policy 3.5.1](#) is not applicable to the *Buildings* or *Structures* within the [A1: Airport Zone](#).

Part 4: General Use Regulations

4.1 Accessory Use, Buildings & Structures

- 4.1.1. No Accessory Building or Structure shall be erected on any *Lot* unless the Principal Building to which the Accessory Building is an Incidental Use has been erected or will be erected simultaneously with the Accessory Building.
- 4.1.2. An Accessory Building shall not contain a *Dwelling Unit*, unless otherwise conforms with this Bylaw.
- 4.1.3. Unless otherwise allowed in a zone, an Accessory Building or Structure may not be situated closer to the *Front Lot Line* or the *Exterior Side Lot Line* than the *Principal Building*.
- 4.1.4. Outdoor Swimming Pools are deemed to be an Accessory Structure on all residential properties and shall adhere to the requirements of Accessory Buildings and Structures, except that:
- a) The swimming pool shall be located within a fenced yard or be surrounded by a Fence or equivalent barrier or not less than 1.5 m in *Height* and has a gate closure and a latch.
 - b) The *Height* of an above-ground, outdoor swimming pool shall not exceed 1.8 m above the *Finished Grade*.
 - c) The swimming pool may not be located within any Front Yard.
 - d) The swimming pool may not be located:
 - i) Closer than 1.5 m to any *Lot Line*; and
 - ii) Closer than 1.5 m to any Building; and
 - iii) Closer than 3.0 m to any *Fence*.
- 4.1.5. Swimming pools shall be drained in such a manner as they do not negatively impact adjacent properties or result over time in negative impacts to slopes or natural areas.

4.2 Fencing & Screening

4.2.1. *Fencing or Screening* shall be restricted as follows:

Table 1: Maximum Height of Fence or Screening

Regulation	Maximum Height		
	All Residential (R)(CPA) & Commercial (C)(RC) Zones	All Public (P) Zones	All Industrial (I) Zones
Front Yard	1.1 m	1.8 m	1.8 m
Exterior Side Yard	1.1 m	1.8 m	1.8 m
Rear Yard and Interior Side Yards	1.8 m	1.8 m	2.4 m

- 4.2.2. Where a Rear Lot Line of a *Lot* abuts the Front Lot Line or side Lot Line of an adjoining *Lot*, *Screening* or fencing along the Rear Lot Line shall be no higher than that permitted on the Front Lot Line or side Lot Line.
- 4.2.3. Fences shall be attractive in appearance, be compatible with the surrounding neighbourhood, and not consist of railroad ties.
- 4.2.4. The *Height* of a Fence or hedge shall be determined by the measurement from the ground level at the Grade level within 1.0 m of both sides of such Fence or hedge.
- 4.2.5. The portion of the retaining wall which projects above the surface of the ground which it supports shall be considered as a Fence and subject to the regulations of this sub-section.
- 4.2.6. In cases where a retaining wall has been constructed along a *Lot Line*, the *Height* of a Fence or hedge shall be determined by measurement from the surface of the ground which the retaining wall supports at the average Grade level within 1.0 m of such retaining wall.
- 4.2.7. For Fences on properties whose Front Lot Line forms part of a *Cul-de-sac* or expanded elbow, the *Height* regulations in [Figure 3](#) apply.

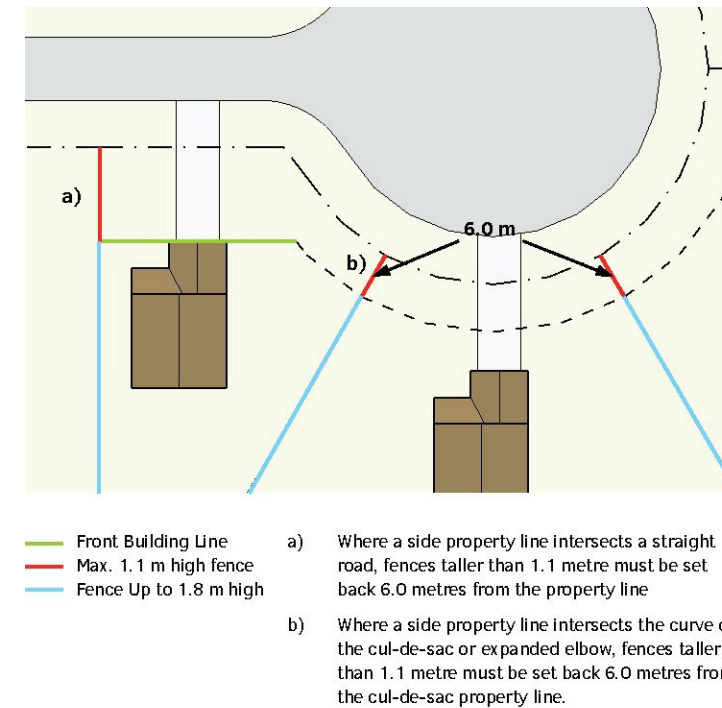


Figure 3: Fence Regulations for properties on Cul-de-sacs

4.2.8. All outside commercial storage, including the storage of garbage, shall be completely contained within a Landscape Screen of not less than 2.0 m in *Height* and garbage storage areas shall be bear proofed.

4.3 Hens and Bees

4.3.1. Despite any other provisions of this Bylaw, hens and bees are permitted in accordance with the provisions of the [Animal Control and Licensing Bylaw](#) and any amendments thereto from time-to-time.

4.4 Safe and Emergency Housing

4.4.1. Despite any other provisions of this Bylaw, the following uses will be permitted in any land *Use* zone subject to the requirements of a Temporary *Use* Permit in any *Zone* within the *City*:

- a) *Residential Building* - Emergency Shelter and Services; and
- b) *Residential Building* - Transitional Housing.

4.4.2. Despite any other provisions of this Bylaw, the following uses will be permitted in any *Zone* within the *City* to enable safe and confidential sheltering of individuals fleeing violence:

- a) *Residential Building* - Safe Home.

4.5 Shipping Containers

- 4.5.1.** A Temporary Permit is not required in any zone for a *Shipping Container* used for temporary storage if all the following conditions are met:
- a)** The *Shipping Container* is only used during the construction of a *Building* or *Development* that has obtained a *Building* Permit;
 - b)** All required permits have been obtained for construction of the *Building* or *Development* on the site;
 - c)** The *Shipping Container* is removed within 15 days of the end of the construction period; and
 - d)** The *Shipping Container* does not adversely impact traffic or pedestrian routes, but may be located within *Parking Spaces*.
- 4.5.2.** A Temporary *Use* Permit is required if any of the conditions of [Policy 4.5.1](#) are not met.
- 4.5.3.** A *Shipping Container* within all non-Industrial zones may be used for permanent storage subject to the following conditions:
- a)** The *Shipping Container* has a peaked roof with a minimum pitch of 2/12, unless a greater pitch is required as per a *Development Permit Area* within the Castlegar Community Plan;
 - b)** The *Shipping Container* exterior shall be covered in a suitable material and colour that matches or complements adjacent *Buildings*. Suitable materials include: vinyl siding, stucco, wood or engineered wood siding, stone or brick (or similar synthetic versions of stone or brick).
 - c)** The *Shipping Container* adheres to the BC *Building* Code and to all enactments applicable to electrical and fire safety;
 - d)** The *Shipping Container* shall not be used for the housing of animals, storage of refuse, contaminated or hazardous material;
 - e)** The *Shipping Container* shall not be used as *Fencing*, *Screening*, or for advertising;
 - f)** The *Shipping Container* (s) shall not be stacked;
 - g)** The *Shipping Container* shall not occupy required Off-*Street* Parking and *Loading Spaces* or interfere with the circulation of vehicle or pedestrians;
 - h)** The *Shipping Container* complies with regulations (e.g. *Setbacks*, *Lot Coverage*) within the *Zone* pertaining to Accessory Buildings.

4.6 Temporary Use Permits

- 4.6.1.** Temporary *Use* Permits may be issued by *Council* in all zones.
- 4.6.2.** Temporary *Use* Permits issued by *Council*, may:
- a)** Provide for a temporary *Use* that would otherwise not be permitted in a zone;
 - b)** Provide for the placement of *Buildings* or *Structures* to accommodate persons who work at the temporary *Use* enterprise;
 - c)** Include conditions to ensure the temporary *Use* will be removed, decommissioned, or demolished or from the land when the permit expires;
 - d)** Provide for the restoration of the property by a date specified in the permit; and
 - e)** Require security to guarantee performance of the permit conditions.
- 4.6.3.** Approval of Temporary *Use* Permits will be considered subject to the following general criteria:
- a)** The *Use* must be clearly temporary or seasonal in nature; and
 - b)** The temporary *Use* should not create an unacceptable level of negative impact on surrounding properties.
- 4.6.4.** Temporary *Use* Permits may be issued for a maximum period of three years; however, the permit may be renewed on a one-time only basis, for a further three-year period.

Part 5: Residential Use Regulations

5.1 Accessory Dwelling Units (ADUs)

- 5.1.1. Accessory Dwelling Units (ADUs) are permitted in accordance with Use regulations in [Part 7: Zones](#).
- 5.1.2. A maximum number of ADUs are permitted on each Lot in accordance with the density regulations in [Part 7: Zones](#).
- 5.1.3. Fire Inspections and all required Building Permits shall be obtained prior to occupancy.
- 5.1.4. Parking shall be in accordance with [Part 8: Parking](#) in this Bylaw.

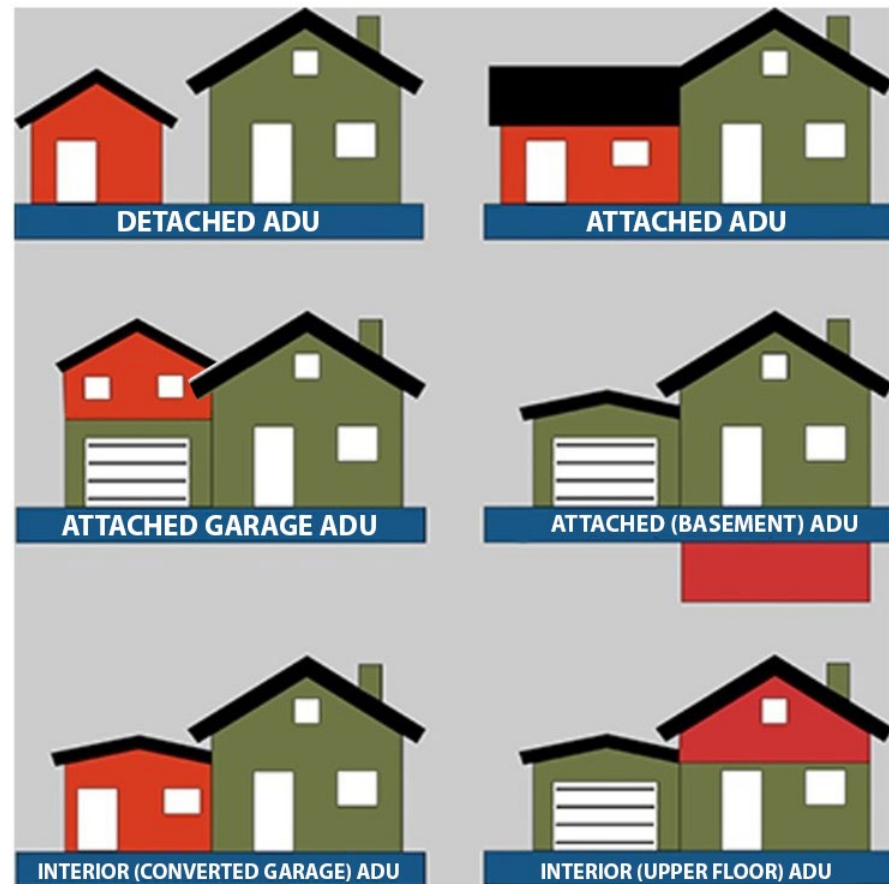


Figure 4: Accessory Dwelling Unit Types

5.2 Home-Based Business

- 5.2.1. A Home-Based Business is an Accessory Use to the Principal residential Use of a Lot.
- 5.2.2. Business activity shall be performed by person(s) residing in the Dwelling unless otherwise permitted in [Table 2: Home-Based Business Regulations](#).
- 5.2.3. The business shall not interfere with the enjoyment or Use of neighbouring properties.
- 5.2.4. Home-Based Businesses shall obtain the appropriate Business License and Building Permit, where required, from the City.
- 5.2.5. Short-Term Vacation Rentals are considered Home-Based Businesses and are regulated through the Business Licensing Bylaw as updated from time to time.
- 5.2.6. A Bed & Breakfast is considered a Home-Based Business and shall comply with the following regulations:
 - a) A maximum of four Guest Rooms;
 - b) All Guest Rooms must be within the Principal Dwelling Unit, or an Accessory Dwelling Unit;
 - c) Where food is being served to guests all Interior Health permits must be obtained; and
 - d) The registered landowner(s) must reside on-site and the property must be the Principal Residence for the landowner(s).
- 5.2.7. All Home-Based Businesses shall not discharge or emit beyond the Lot boundaries:
 - a) Odorous, noxious or toxic matter or vapor;
 - b) Smoke, fumes, glare, radiation;
 - c) Recurring noise, ground vibration;
 - d) Fire hazard, electrical interference; or
 - e) Otherwise interfere with the Use and enjoyment of neighbouring properties.
- 5.2.8. All Home-Based Businesses shall comply with any parking requirements in [Part 8: Parking](#).
- 5.2.9. All Home-Based Businesses that provide food services or personal services (i.e. hair salon, massage, etc.) must pass an inspection from the Health Authority.
- 5.2.10. Signage is subject to other City bylaws;
- 5.2.11. Home-Based Business Use within the City is divided into the following two categories:
 - a) Home-Based Business 1 - Minor, and
 - b) Home-Based Business 2 - Major.
- 5.2.12. Home-Based Business Use shall comply with the regulations in [Table 2: Home-Based Business Regulations](#).

Table 2: Home-Based Business Regulations

Requirement	Minor	Major
5.2.13. The <i>Home-Based Business</i> is permitted in an <i>Accessory Building or Structure</i> .	Yes	Yes
5.2.14. Maximum number of <i>Home-Based Businesses</i> per <i>Lot</i> .	2	A <i>Lot</i> with 1 major <i>Home-Based Business</i> may also have a maximum of 1 minor <i>Home-Based Business</i> .
5.2.15. The <i>Home-Based Business</i> is permitted in an <i>Accessory Dwelling Units</i> .	No	Yes
5.2.16. Maximum <i>Gross Floor Area</i> Percentage dedicated to the business in relation to the total <i>Gross Floor Area</i> of the <i>Principal Residence</i> .	25%	40%
5.2.17. Maximum number of customer visits allowed per week.	15	50
5.2.18. On-premises retail sales permitted.	No	Yes
5.2.19. Commercial deliveries permitted.	No	Yes
5.2.20. Commercial vehicles permitted.	No	Yes, but must be less than under 5500 kg in weight.
5.2.21. Food prepared and/or sold on site permitted.	No	Yes
5.2.22. Maximum number of full-time equivalent off-site employees (persons not living in the <i>Dwelling Unit</i>) permitted.	1	3
5.2.23. Outdoor storage or display of materials, commodities, or finished products related to the <i>Use</i> permitted.	No	Yes, but must be: a) <i>Fenced</i> and/or <i>Screened</i> , b) Be located in the <i>Rear Yard</i> , and c) Shall not exceed 40% of the <i>Rear Yard</i> .
5.2.24. Permitted Operating Hours.	8:00 am-6:00 pm	7:00 am-8:00 pm
5.2.25. On-site advertising allowed.	Maximum one non-illuminated <i>Sign</i> or name plate not exceeding 0.3m ² .	
5.2.26. Municipal Inspections Required prior to <i>Development</i> Permit issuance.	Yes	Yes

5.3 Manufactured Homes

- 5.3.1. All Manufactured Homes shall meet Canadian Standards Association Z240 standards.
- 5.3.2. The skirting shall be made of lumber, vinyl or painted metal.
- 5.3.3. Skirting shall be installed within 60 days of installation of a Manufactured home on the *Lot*.
- 5.3.4. Additions to Manufactured Homes shall not exceed 100% of the total *Floor Area* of the Manufactured Home to which it is attached. All additions must also comply with the [BC Building Code](#).

5.4 Manufactured Home Park

- 5.4.1. Where a Manufactured Home Park is listed as a permitted or discretionary *Use*, the following regulations shall apply:
 - a) No On-*Street* Parking shall be permitted within the Manufactured Home Park.
 - b) All parking stalls shall be provided per [Part 8: Parking](#)
 - c) Visitor parking shall be provided pursuant to [Part 8: Parking](#) and be dispersed throughout the park with signage.
- 5.4.2. All roads in a Manufactured Home Park shall be:
 - a) Well drained and maintained;
 - b) Be least 8.0 m in width; and
 - c) Constructed to standards that meet or exceed the Municipality's engineering specifications.
- 5.4.3. Internal pedestrian pathways shall have a minimum width of 1.8 m and be hard-surfaced.
- 5.4.4. No less than 5% of the Gross Site Area (GSA) of a Manufactured Home Park shall be devoted to outdoor amenity space and recreational uses in a convenient and accessible location to residents with the following conditions:
 - a) Outdoor amenity space shall be landscaped within one year of the start of construction of the Manufactured Home Park.
- 5.4.5. Separation distances between *Buildings*, including Manufactured Homes, within the Manufactured Home Park shall be a minimum of 3.0 m, must be consistent with the [BC Building Code](#).
- 5.4.6. A *Screened* storage compound shall be provided within the *Manufactured Home Park* for trucks, campers, travel trailers, snowmobiles, boats, etc.
- 5.4.7. All *Manufactured Home Park* lots within a Manufactured Home Park shall be clearly defined on the ground by permanent flush stakes or markers with an address system assigned by the *City*.
- 5.4.8. All Manufactured Home Parks shall have a central map located at the entrance to the home park that includes the location and addresses of all home park lots and identifies other prominent features within the park, including visitor parking, parks/playgrounds, location of park attendant or *Office*, and location of all fire hydrants or other water sources that can be used by a fire department.

5.5 Residential Boarding Home

- 5.5.1. A *Residential Boarding Home* may contain a maximum of 10 beds.
- 5.5.2. Residential Boarding Homes may not be used for Short-Term Vacation Rentals.
- 5.5.3. No cooking facilities shall be installed within the *Guest Rooms*.

Part 6: Commercial Use Regulations

6.1 Drive-Throughs

- 6.1.1. Any *Development* or *Use* with a *Drive-through* must adhere to the following regulations, unless greater requirements are specified within a Transportation Impact Assessment conducted for the *Development*:
 - a) A *Drive-through* must include drive Aisles that:
 - i) Have a minimum of 6 queuing spaces on site, with a minimum of 3 queuing spaces for in-bound vehicles;
 - ii) Are not located in a *Frontage* area or *Setback* Area;
 - iii) Are not accessed from a *Lane*; and
 - iv) Are buffered from abutting residential Lots with a minimum of 3.5 m of landscaped area designed and maintained with *Screening* not less than 1.0 m in *Height*.
- 6.1.2. Where possible, a *Drive-through* shall prevent headlights from shining onto other properties through the *Use* of *Fencing*, *Screening*, *Landscaping* and orientation of the drive *Aisle*.
- 6.1.3. A Drive-Through shall provide at least one waste receptacle on the driver's side of the drive *Aisle* and must be within an arms reach of the driver.
- 6.1.4. Each queuing space shall be a minimum of 6.0 m long and 3.0 m wide. Queuing Lanes shall provide sufficient space for turning and maneuvering.

6.2 Portable Food Service

- 6.2.1. Portable food service from a vending cart is a permitted *Use* in any commercial, public, or Industrial zone provided that the vending cart is:
 - a) Capable of being moved on its own wheels without alteration or preparation;
 - b) In compliance with all health and business licensing, as may be applicable;
 - c) Fully self-contained with no service connection except electrical connections; and
 - d) Given permission from the landowner, including *City* permission where placed on *City*-owned land or a public right-of-way.

6.3 Vehicle Fuel Sales

6.3.1. All *Developments* for Vehicle Fuel Sales shall be subject to the following conditions:

- a) The following *Setback* requirements apply:
 - i) 12.0 m *Setback* for all *Buildings* from the pump islands,
 - ii) 3.5 m *Setback* for storage, parking, disposal areas
 - iii) Gasoline service pumps or pump islands shall be located not closer than 6.0 m to any *Lot* Line.
- b) All servicing equipment, other than that normally carried on a pump island, shall be entirely enclosed within a *Building*.
 - i) A *Landscape Buffer* shall be required along all *Lot* lines abutting a public *Highway*, and should be a minimum of 2.0m in width.
- c) For all service stations abutting a rural, recreational, or residential property, a *Landscape Buffer* is required along the *Lot Line* with the following conditions:
 - i) The width of the *Landscape Buffer* must be a minimum of 3.5 m wide;
 - ii) Vertical *Screening* should include dense shrubs, evergreen trees and plants to create a solid *Screen* not less than 1.8 m in *Height*.
- d) Pedestrian connections must be provided from public sidewalks to front entrances of *Buildings*.

6.3.2. A canopy for fuel pumps shall comply with the following:

- i) A minimum *Setback* of 3.0 m from *Lot* lines;
- ii) A minimum *Height* clearance 4.3 m;
- iii) Signage on canopies must be in accordance with any *Sign* regulations; and
- iv) Canopies are exempt from site coverage requirements.

6.3.3. Electric vehicle charging stations shall be subject to the minimum *Setback* requirements in the *Zone*.

Part 7: Zones

7.1 R1: Low Density Residential

7.1.1. Purpose

To allow for multi-unit residential *Development* that ranges from approximately 1 to 4 units and may be arranged in a variety of configurations up to 3 *Storeys*. This *Zone* is intended to support the creation of "Missing Middle Housing" that is compatible with the existing neighbourhood.

7.1.2. Permitted Uses

- | | |
|---------------------------------------|---|
| a) <i>Accessory Dwelling Unit</i> | d) <i>Residential Building</i> |
| b) <i>Childcare Centre</i> | e) <i>Residential Building, Manufactured Home</i> |
| c) <i>Home-Based Business - Minor</i> | |

7.1.3. Density

- a) The maximum density permitted is four (4) *Dwelling Unit(s)* Per *Lot* (UPL) for any *Lot* 280m² or greater.
- b) The maximum density permitted is three (3) *Dwelling Unit(s)* Per *Lot* (UPL) for any *Lot* less than 280m².

7.1.4. Lot Dimensions

- | | |
|---|--------------------|
| a) Minimum <i>Lot Width</i> (with <i>Party Wall</i> Subdivision) | 6.0 m |
| b) Minimum <i>Lot Area</i> (with <i>Party Wall</i> Subdivision) | 180 m ² |
| c) Minimum <i>Lot Width</i> (up to 4 units on a single <i>Lot</i>) | 9.0 m |
| d) Minimum <i>Lot Area</i> (up to 4 units on a single <i>Lot</i>) | 280 m ² |
| e) Minimum <i>Lot Depth</i> | 27.0 m |

7.1.5. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	1.5 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m

7.1.6. Lot Coverage

i) Maximum <i>Lot Coverage</i> of all <i>Structures</i>	35%
ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i>	40%
iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i>	No more than 80% of Principal <i>Dwelling</i>

7.1.7. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	10.0 m	7.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	3.5 m

7.2 R2: Low Rise Residential

7.2.1. Purpose

To allow for multi-unit residential *Development* that ranges from approximately 1 to 8 units and may be arranged in a variety of configurations up to 3 *Storeys*. This *Zone* is intended to support the creation of "Missing Middle Housing" that is compatible with the existing neighbourhood.

7.2.2. Permitted Uses

- | | |
|---------------------------------------|-------------------------------------|
| a) <i>Accessory Dwelling Unit</i> | d) <i>Residential Boarding Home</i> |
| b) <i>Childcare Centre</i> | e) <i>Residential Building</i> |
| c) <i>Home-Based Business – Minor</i> | f) <i>Special Care Facility</i> |

7.2.3. Density

- a) The maximum density permitted is 120 *Dwelling Unit(s)* per Hectare (UPH)
- b) The maximum number of *Dwelling Unit(s)* per *Residential Building* is eight (8).

7.2.4. Lot Dimensions

- | | |
|---|--------------------|
| a) Minimum <i>Lot Width</i> (with <i>Party Wall</i> Subdivision) | 6.0 m |
| b) Minimum <i>Lot Area</i> (with <i>Party Wall</i> Subdivision) | 180 m ² |
| c) Minimum <i>Lot Width</i> (up to 4 units on a single <i>Lot</i>) | 9.0 m |
| d) Minimum <i>Lot Area</i> (up to 4 units on a single <i>Lot</i>) | 280 m ² |
| e) Minimum <i>Lot Width</i> (more than 4 units on a single <i>Lot</i>) | 23.0 m |
| f) Minimum <i>Lot Area</i> (more than 4 units on a single <i>Lot</i>) | 700 m ² |
| g) Minimum <i>Lot Depth</i> | 27.0 m |

7.2.5. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	1.5 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m

7.2.6. Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 60% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 65% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 80% of Principal <i>Dwelling</i> |

7.2.7. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	10.0 m	7.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	3.5 m

7.3 R3: Multi-Unit Residential

7.3.1. Purpose

To allow for multi-unit residential *Development* that ranges from approximately 1 to 12 units and may be arranged in a variety of configurations up to 3 *Storeys*. This *Zone* is intended to support the creation of "Missing Middle Housing" that is compatible with the existing neighbourhood.

7.3.2. Permitted Uses

- | | |
|---------------------------------------|---------------------------------|
| a) <i>Childcare Centre</i> | d) <i>Residential Building</i> |
| b) <i>Home-Based Business – Minor</i> | e) <i>Special Care Facility</i> |
| c) <i>Residential Boarding Home</i> | |

7.3.3. Conditional Uses

- a) An *Accessory Dwelling Unit* is permitted *Use* on any *Lot* that has a single-detached *Dwelling* that was in existence at the time of adoption of this Bylaw.

7.3.4. Density

- a) The maximum density permitted is 150 *Dwelling Unit(s)* Per Hectare (UPH).
- b) The minimum number of *Dwelling Unit(s)* per *Residential Building* is five (5).
- i) Notwithstanding (b) above, the minimum number of *Dwelling Unit(s)* does not apply where one *Accessory Dwelling Unit* is being added to a *Lot* with a single-detached *Dwelling* that was in existence at the time of adoption of this Bylaw.

7.3.5. Lot Dimensions

- | | |
|---|--------------------|
| a) Minimum <i>Lot Width</i> (with <i>Party Wall</i> Subdivision) | 6.0 m |
| b) Minimum <i>Lot Area</i> (with <i>Party Wall</i> Subdivision) | 180 m ² |
| c) Minimum <i>Lot Width</i> (up to 4 units on a single <i>Lot</i>) | 9.0 m |
| d) Minimum <i>Lot Area</i> (up to 4 units on a single <i>Lot</i>) | 280 m ² |
| e) Minimum <i>Lot Width</i> (more than 4 units on a single <i>Lot</i>) | 23.0 m |
| f) Minimum <i>Lot Area</i> (more than 4 units on a single <i>Lot</i>) | 700 m ² |
| g) Minimum <i>Lot Depth</i> | 27.0 m |

7.3.6. Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	1.5 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m

7.3.7. Lot Coverage

i) Maximum <i>Lot Coverage</i> of all <i>Structures</i>	70%
ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i>	75%
iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i>	No more than 80% of Principal <i>Dwelling</i>

7.3.8. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	12.0 m	7.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	3.5 m

7.4 R4: Manufactured Home Park

7.4.1. Purpose

To allow for the Residential *Use* of Manufactured Home Parks. This *Zone* is intended to be comprehensively-planned for the *Use* of residential lands with Manufactured Homes.

7.4.2. Permitted Uses

- | | |
|---------------------------------------|---|
| a) <i>Manufactured Home Park</i> | c) <i>Residential Building, Manufactured Home</i> |
| b) <i>Home-Based Business – Minor</i> | |

7.4.3. Separation Distance

- | | |
|---|-------|
| a) Minimum separation distance between <i>Buildings</i> | 3.0 m |
|---|-------|

7.4.4. Lot Dimensions

- | | |
|--|-----------------------|
| a) The following minimum <i>Lot</i> dimensions apply to the entire <i>Manufactured Home Park Lot</i> . | <i>All Buildings</i> |
| b) Minimum <i>Lot Width</i> | 60.0 m |
| c) Minimum <i>Lot Area</i> | 20,000 m ² |
| d) Minimum <i>Lot Depth</i> | 60.0 m |

7.4.5. Minimum Setbacks

- | | |
|---|----------------------|
| a) The following minimum <i>Setbacks</i> are to be measured from the <i>Manufactured Home Park Lot</i> lines to any <i>Building</i> : | <i>All Buildings</i> |
| i) <i>Front Setback to Lot Line</i> | 6.0 m |
| ii) <i>Exterior Side Setback to Lot Line</i> | 6.0 m |
| iii) <i>Interior Side Setback to Lot Line</i> | 6.0 m |
| iv) <i>Rear Setback to Lot Line</i> | 6.0 m |

7.4.6. Lot Coverage

- | | |
|--|-----|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> within the Home Park | 45% |
|--|-----|

7.4.7. Maximum Building Height

- | | a) <i>Manufactured Homes</i> | b) <i>Accessory Building or Structure</i> |
|--|------------------------------|---|
| i) Maximum <i>Height</i> | 6.0 m | 4.5 m |
| ii) Maximum First <i>Storey Height</i> | n/a | None |

7.4.8. Individual Home Site Dimensions

- | | |
|---|----------------------|
| a) All individual Manufactured Home sites within a <i>Manufactured Home Park</i> must meet the following regulations: | |
| b) Minimum Home Site Width | 9.0 m |
| c) Minimum Home Site Length | 20.0 m |
| d) Minimum Home Site Area | 240.0 m ² |
| e) Minimum <i>Setbacks</i> from all <i>Buildings</i> to all outside boundaries of a Home Site | 3.0 m |

7.5 RU: Residential Unserviced

7.5.1 Purpose

To allow for small-scale residential uses that are compatible with lands that lack full community services. This **Zone** is intended to allow for the **Use** and intensification of residential lands in a form that is appropriate with the level of services available.

7.5.2 Permitted Uses

- | | |
|---------------------------------------|---|
| a) <i>Accessory Dwelling Unit</i> | d) <i>Residential Boarding Home</i> |
| b) <i>Childcare Centre</i> | e) <i>Residential Building, 1-unit</i> |
| c) <i>Home-Based Business – Major</i> | f) <i>Residential Building, 2-units</i> |
| | g) <i>Residential Building, Manufactured Home</i> |

7.5.3 Density

- a) The maximum density permitted is three (3) Units per **Lot** (UPL).

7.5.4 Lot Dimensions

- | | |
|-----------------------------|----------------------|
| a) Minimum <i>Lot Width</i> | 24.0 m |
| b) Minimum <i>Lot Area</i> | 1,000 m ² |
| c) Minimum <i>Lot Depth</i> | 27.0 m |

7.5.5 Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	1.5 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	3.0 m

7.5.6 Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 40% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 50% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 80% of Principal <i>Dwelling</i> |

7.5.7 Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	10.0 m	7.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	3.5 m

7.6 CPA: Comprehensive Planning Area

7.6.1 Purpose

To allow for agricultural and rural uses that do not prejudice future *Use* until the lands are comprehensively planned to determine their highest and best *Use*. This *Zone* is intended to allowed the continued *Use* of the land, while limiting future *Development* in the area, until comprehensive plans can determine whether they are appropriate for more intense land uses.

7.6.2 Permitted Uses

- | | |
|---------------------------------------|---|
| a) <i>Accessory Dwelling Unit</i> | e) <i>Outdoor Market</i> |
| b) <i>Agricultural Use</i> | f) <i>Residential Building, 1-unit</i> |
| c) <i>Home-Based Business – Major</i> | g) <i>Residential Building, 2-units</i> |
| d) <i>Horticulture</i> | |

7.6.3 Density

- a) The maximum density permitted is three (3) Units Per *Lot* (UPL).

7.6.4 Lot Dimensions

- | | |
|-----------------------------|-----------------------|
| a) Minimum <i>Lot Width</i> | 60.0 m |
| b) Minimum <i>Lot Area</i> | 12,000 m ² |
| c) Minimum <i>Lot Depth</i> | 54.0 m |

7.6.5 Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	7.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	7.5 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	7.5 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	7.5 m	1.5 m

7.6.6 Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 15% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 25% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 80% of Principal <i>Dwelling</i> |

7.6.7 Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	12.0 m	11.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	None

7.7 RMU: Rural Mixed-Use

7.7.1. Purpose

To allow for low-density residential, and agriculture-related activities and limited commercial services. This **Zone** is intended to provide for rural land uses within municipal boundaries, and be a transition area between urban areas and natural areas.

7.7.2. Permitted Uses

- | | |
|---|---|
| a) <i>Accessory Dwelling Unit</i> | g) <i>Outdoor Market</i> |
| b) <i>Agricultural Use</i> | h) <i>Residential Building(s)</i> , up to 3-units |
| c) <i>Animal Services - Boarding Overnight & Breeding</i> | i) <i>Residential Building, 1-unit</i> |
| d) <i>Animal Services Veterinary Clinic</i> | j) <i>Residential Building, 2-units</i> |
| e) <i>Home-Based Business - Major</i> | k) <i>Residential Building, Manufactured Home</i> |
| f) <i>Horticulture</i> | |

7.7.3. Density

- a) The maximum density permitted is three (3) Units per *Lot* (UPL).

7.7.4. Lot Dimensions

- | | |
|-----------------------------|-----------------------|
| a) Minimum <i>Lot Width</i> | 60.0 m |
| b) Minimum <i>Lot Area</i> | 12,000 m ² |
| c) Minimum <i>Lot Depth</i> | 54.0 m |

7.7.5. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	7.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	7.5 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	7.5 m	3.0 m
iv) <i>Rear Setback to Lot Line</i>	7.5 m	3.0 m

7.7.6. Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 30% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 40% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 80% of Principal <i>Dwelling</i> |

7.7.7. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	12.0 m	11.5 m or 0.5m less than the Principal Dwelling, whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	None

7.8 RC: Rural Cultural

7.8.1 Purpose

To allow for low-intensity cultural activities on semi-rural lands. This **Zone** is intended to allow for historical, heritage, and cultural activities related to Castlegar's history.

7.8.2 Permitted Uses

- | | |
|--|--|
| a) Agricultural Use | f) Outdoor Market |
| b) Exhibition Centre | g) Recreation - Outdoor |
| c) Food & Beverage Services - Restaurant | h) Residential Building - Caretaker Home |
| d) Horticulture | i) Retail Store |
| e) Institutional Uses | j) Retail Store with Bulk Sales |

7.8.3 Density

- a) The maximum density permitted is one (1) Unit per *Lot* (UPL).

7.8.4 Lot Dimensions

- | | |
|-----------------------------|-----------------------|
| a) Minimum <i>Lot Width</i> | 60.0 m |
| b) Minimum <i>Lot Area</i> | 12,000 m ² |
| c) Minimum <i>Lot Depth</i> | 54.0 m |

7.8.5 Minimum Setbacks

	a) Principal Building	b) Accessory Building or Structure
i) <i>Front Setback to Lot Line</i>	7.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	7.5 m	4.5 m
iii) <i>Interior Side Setback to Lot Line</i>	7.5 m	4.5 m
iv) <i>Rear Setback to Lot Line</i>	7.5 m	6.0 m

7.8.6 Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 40% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 50% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 80% of Principal <i>Dwelling</i> |

7.8.7 Maximum Building Height

	a) Principal Building	b) Accessory Building or Structure
i) Maximum <i>Height</i>	12.0 m	11.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	None

7.9 C1: Downtown Mixed-Use

7.9.1. Purpose

To allow for mixed-*Use Development* in the Downtown. This zone is intended to allow for pedestrian-scaled, community-oriented mixed-*Use Development* in Castlegar's Downtown.

7.9.2. Permitted Uses

- | | |
|--|---|
| a) <i>Accessory Dwelling Unit</i> | m) <i>Outdoor Market</i> |
| b) <i>Animal Services – Boarding Daytime</i> | n) <i>Overnight Accommodation</i> |
| c) <i>Building Supplies – Retail</i> | o) <i>Personal Service</i> |
| d) <i>Childcare Centre</i> | p) <i>Public Transit Facility</i> |
| e) <i>Financial Institution</i> | q) <i>Recreation & Entertainment – Indoor</i> |
| f) <i>Food & Beverage Services</i> | r) <i>Residential Building</i> |
| g) <i>Food & Beverage Services – Drive-Through</i> | s) <i>Residential Dwelling Unit(s) – Mixed-Use Building</i> |
| h) <i>Home-Based Business – Minor</i> | t) <i>Retail Store</i> |
| i) <i>Hospital & Medical Services</i> | u) <i>Social Services – Daytime</i> |
| j) <i>Institutional Uses</i> | v) <i>Special Care Facility</i> |
| k) <i>Microbrewery & Craft Distillery</i> | w) <i>Vehicle Rental</i> |
| l) <i>Office</i> | |

7.9.3. Residential Density

- a) The minimum number of *Dwelling Unit(s)* per *Residential Building* is two (2).

7.9.4. Maximum Floor Area

- a) The following maximum *Floor Area* regulations are applicable:

- | | |
|--|----------------------|
| i) <i>Microbrewery & Craft Distillery:</i> | 1,000 m ² |
| ii) <i>Retail Store:</i> | 1,000 m ² |

7.9.5. Lot Dimensions

- | | |
|-----------------------------|--------------------|
| a) Minimum <i>Lot Width</i> | 9.0 m |
| b) Minimum <i>Lot Area</i> | 270 m ² |
| c) Minimum <i>Lot Depth</i> | 27.0 m |

7.9.6. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>	c) <i>Fourth Storey</i>
i) <i>Front Setback to Lot Line</i>	0.0 m	1.5 m back from principal	3.0 m from <i>Front Building Line</i>
ii) <i>Exterior Side Setback to Lot Line</i>	0.0 m	3.0 m	3.0 m from <i>Side Building Line</i>
iii) <i>Interior Side Setback to Lot Line</i>	0.0 m	1.5 m	0.0 m
iv) <i>Rear Setback to Lot Line</i>	0.0 m	1.5 m	3.0 m from <i>Rear Building Line</i>

7.9.7. Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 90% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 100% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 20% of Principal <i>Dwelling</i> |

7.9.8. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	14.0 m	7.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	4.5 m
iii) Minimum <i>Height</i> for all Residential <i>Buildings</i>	2 <i>Storey</i>	n/a

7.10 C2: Regional Mixed-Use

7.10.1. Purpose

To allow for a mix of commercial, mixed-Use, and higher-density residential uses in Uptown (near the interchanges for *Highways* 3, and 22). This zone is intended to allow for mixed-Use intensification in the area.

7.10.2. Permitted Uses

- | | |
|--|---|
| a) <i>Accessory Dwelling Unit</i> | o) <i>Microbrewery & Craft Distillery</i> |
| b) <i>Animal Services – Boarding Daytime</i> | p) <i>Office</i> |
| c) <i>Animal Services Veterinary Clinic</i> | q) <i>Outdoor Market</i> |
| d) <i>Building Supplies – Retail</i> | r) <i>Overnight Accommodation</i> |
| e) <i>Building Supplies – Storage & Wholesale</i> | s) <i>Personal Service</i> |
| f) <i>Campground</i> | t) <i>Public Transit Facility</i> |
| g) <i>Childcare Centre</i> | u) <i>Recreation & Entertainment – Indoor</i> |
| h) <i>Convention Centre</i> | v) <i>Residential Building</i> |
| i) <i>Financial Institution</i> | w) <i>Residential Dwelling Unit(s) – Mixed-Use Building</i> |
| j) <i>Food & Beverage Services</i> | x) <i>Retail Store</i> |
| k) <i>Food & Beverage Services – Drive-through</i> | y) <i>Shopping Centre</i> |
| l) <i>Home-Based Business – Major</i> | z) <i>Social Services – Daytime</i> |
| m) <i>Hospital & Medical Services</i> | aa) <i>Special Care Facility</i> |
| n) <i>Institutional Uses</i> | ab) <i>Vehicle Services</i> |

7.10.3. Residential Density

- a) The minimum number of *Dwelling Unit(s)* per *Residential Building* is two (2).

7.10.4. Lot Dimensions

- | | |
|-----------------------------|--------------------|
| a) Minimum <i>Lot Width</i> | 18.0 m |
| b) Minimum <i>Lot Area</i> | 540 m ² |
| c) Minimum <i>Lot Depth</i> | 27.0 m |

7.10.5. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>	c) <i>Storeys 4–6</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal	3.0 m from <i>Front Building Line</i>
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m	3.0 m from <i>Side Building Line</i>
iii) <i>Interior Side Setback to Lot Line</i>	3.0 m	1.5 m	0.0 m
iv) <i>Rear Setback to Lot Line</i>	4.5 m	1.5 m	3.0 m from <i>Rear Building Line</i>
v) <i>See Section 6.3</i> for additional <i>Setbacks</i> for <i>Vehicle Services</i> .			

7.10.6. Lot Coverage

i) Maximum <i>Lot Coverage</i> of all <i>Structures</i>	80%
ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i>	85%
iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i>	No more than 20% of Principal <i>Dwelling</i>

7.10.7. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	18.0 m	13.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	4.5 m
iii) Minimum <i>Height</i> for all Residential <i>Buildings</i>	2 <i>Storey</i>	n/a

7.11 C3: Corridor Mixed-Use

7.11.1. Purpose

To allow for a mix of commercial, mixed-Use, and higher-density residential uses near *Highways* and arterial roads. This zone is intended to allow intensification along *Highways* and arterial roads to better support transit.

7.11.2. Permitted Uses

- | | |
|--|---|
| a) <i>Accessory Dwelling Unit</i> | r) <i>Outdoor Market</i> |
| b) <i>Animal Services – Boarding Daytime</i> | s) <i>Overnight Accommodation</i> |
| c) <i>Animal Services Veterinary Clinic</i> | t) <i>Personal Service</i> |
| d) <i>Building Supplies – Retail</i> | u) <i>Public Transit Facility</i> |
| e) <i>Building Supplies – Storage & Wholesale</i> | v) <i>Recreation & Entertainment – Indoor</i> |
| f) <i>Campground</i> | w) <i>Residential Building</i> |
| g) <i>Childcare Centre</i> | x) <i>Residential Dwelling Unit(s) – Mixed-Use Building</i> |
| h) <i>Convention Centre</i> | y) <i>Retail Store</i> |
| i) <i>Financial Institution</i> | z) <i>RV Sales & Service</i> |
| j) <i>Food & Beverage Services</i> | aa) <i>Shopping Centre</i> |
| k) <i>Food & Beverage Services – Drive-through</i> | ab) <i>Social Services – Daytime</i> |
| l) <i>Government Institution</i> | ac) <i>Special Care Facility</i> |
| m) <i>Home-Based Business – Major</i> | ad) <i>Vehicle Repair – Body Shop</i> |
| n) <i>Hospital & Medical Services</i> | ae) <i>Vehicle Services</i> |
| o) <i>Institutional Uses</i> | af) <i>Warehouse – Small</i> |
| p) <i>Microbrewery & Craft Distillery</i> | |
| q) <i>Office</i> | |

7.11.3. Residential Density

- a) The minimum number of *Dwelling Unit(s)* per *Residential Building* is two (2).

7.11.4. Lot Dimensions

- | | |
|-----------------------------|--------------------|
| a) Minimum <i>Lot Width</i> | 18.0 m |
| b) Minimum <i>Lot Area</i> | 540 m ² |
| c) Minimum <i>Lot Depth</i> | 27.0 m |

7.11.5. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>	c) <i>Fourth Storey</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal	3.0 m from <i>Front Building Line</i>
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m	3.0 m from <i>Side Building Line</i>
iii) <i>Interior Side Setback to Lot Line</i>	1.5 m	1.5 m	0.0 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m	3.0 m from <i>Rear Building Line</i>
v) <i>See Section 6.3</i> for additional <i>Setbacks</i> for <i>Vehicle Services</i> .			

7.11.6. Lot Coverage

- | | |
|--|---|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 80% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 85% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | No more than 20% of <i>Principal Dwelling</i> |

7.11.7. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	14.0 m	13.5 m or 0.5m less than the <i>Principal Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	4.5 m
iii) Minimum <i>Height</i> for all Residential <i>Buildings</i>	2 <i>Storey</i>	n/a

7.12 C4: Neighbourhood Mixed-Use

7.12.1. Purpose

To allow for neighbourhood scale pedestrian oriented Mixed-Use *Development* anticipated in Neighbourhood Nodes, as directed by the Castlegar Community Plan, that is integrated with the neighbourhood and intended to serve as a community focal point for commercial businesses, services, social gathering, and residential uses.

7.12.2. Permitted Uses

- | | |
|--|---|
| a) <i>Accessory Dwelling Unit</i> | h) <i>Office</i> |
| b) <i>Animal Services - Boarding Daytime</i> | i) <i>Personal Service</i> |
| c) <i>Childcare Centre</i> | j) <i>Residential Building</i> |
| d) <i>Food & Beverage Services</i> | k) <i>Residential Dwelling Unit(s) - Mixed-Use Building</i> |
| e) <i>Food & Beverage Services - Drive-through</i> | l) <i>Retail Store</i> |
| f) <i>Home-Based Business - Major</i> | m) <i>Special Care Facility</i> |
| g) <i>Institutional Uses</i> | |

7.12.3. Residential Density

- a) The minimum number of *Dwelling Unit(s)* per *Residential Building* is two (2).

7.12.4. Maximum Floor Area

- a) The following maximum *Gross Floor Area* regulations are applicable:
- i) *Retail Store:* 1,000 m²

7.12.5. Lot Dimensions

- | | |
|-----------------------------|--------------------|
| a) Minimum <i>Lot Width</i> | 9.0 m |
| b) Minimum <i>Lot Area</i> | 280 m ² |
| c) Minimum <i>Lot Depth</i> | 27.0 m |

7.12.6. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	4.5 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	3.0 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	1.5 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m

7.12.7. Lot Coverage

i) Maximum <i>Lot Coverage</i> of all <i>Structures</i>	80%
ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i>	85%
iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i>	No more than 20% of Principal <i>Dwelling</i>

7.12.8. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	10.0 m	7.5 m or 0.5m less than the Principal <i>Dwelling</i> , whichever is the lesser.
ii) Maximum First <i>Storey Height</i>	n/a	3.5 m
iii) Minimum <i>Height</i> for all Residential <i>Buildings</i>	2 <i>Storey</i>	n/a

7.13 A1: Airport

7.13.1. Purpose

To allow for regional airport operations, related facilities, and limited tourism-related business activities.

7.13.2. Permitted Uses

- | | |
|---|--|
| a) Aircraft - Fuel Sales | j) Office |
| b) Aircraft - Sales, Repairs and Rentals | k) Overnight Accommodation |
| c) Airport | l) Public Transit Facility |
| d) Bulk Fuel Depot | m) Recreation & Entertainment - Indoor |
| e) Gaming Centre | n) Retail Store |
| f) Educational Institution - Private | o) RV Sales & Service |
| g) Food & Beverage Services | p) Vehicle Fuel Sales - Key Lock |
| h) Food & Beverage Services - Drive-through | q) Vehicle Services |
| i) Microbrewery & Craft Distillery | r) Warehouse - Small |

7.13.3. Density

- a) N/A

7.13.4. Lot Dimensions

- | | |
|----------------------|----------------------|
| a) Minimum Lot Width | 36.0 m |
| b) Minimum Lot Area | 1,620 m ² |
| c) Minimum Lot Depth | 30.0 m |

7.13.5. Minimum Setbacks

	a) Principal Building	b) Accessory Building or Structure Building
i) Front Setback to Lot Line	7.5 m	None
ii) Exterior Side Setback to Lot Line	7.5 m	None
iii) Interior Side Setback to Lot Line	6.0 m	None
iv) Rear Setback to Lot Line	6.0 m	None
v) See Section 6.3 for additional Setbacks for Vehicle Services.		

7.13.6. Lot Coverage

- | | |
|---|------|
| i) Maximum Lot Coverage of all Structures | 70% |
| ii) Maximum Lot Coverage of all Structures and Impermeable Surfaces | None |
| iii) Maximum Lot Coverage of Accessory Building or Structure(s) | None |

7.13.7. Maximum Building Height

	a) Principal Building	b) Accessory Building or Structure
i) Maximum Height	15.0 m	15.0 m
ii) Maximum First Storey Height	n/a	None

7.14 M1: Light Industrial

7.14.1. Purpose

To allow for Light Industrial and a variety of small Commercial businesses with a higher standard of design that carry out their operations in a manner where little nuisance is created or apparent outside an enclosed **Building**. This **Zone** is intended to be compatible with any **Abutting** non-Industrial **Zone**, while also serving as a transition **Zone** to buffer medium and Heavy Industrial **Zones**.

7.14.2. Permitted Uses

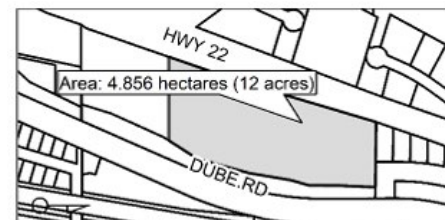
- | | |
|---|---|
| a) <i>Animal Services – Boarding Overnight & Breeding</i> | p) <i>Industrial – Light</i> |
| b) <i>Animal Services Veterinary Clinic</i> | q) <i>Medical Clinic</i> |
| c) <i>Auction Facility – Goods</i> | r) <i>Microbrewery & Craft Distillery</i> |
| d) <i>Building Supplies – Retail</i> | s) <i>Office</i> |
| e) <i>Building Supplies – Storage & Wholesale</i> | t) <i>Outdoor Market</i> |
| f) <i>Bulk Fuel Depot</i> | u) <i>Overnight Accommodation</i> |
| g) <i>Campground</i> | v) <i>Public Transit Facility</i> |
| h) <i>Convention Centre</i> | w) <i>Recreation & Entertainment – Indoor</i> |
| i) <i>Equipment Sales & Rental – Industrial</i> | x) <i>Recycling Depot</i> |
| j) <i>Exhibition Centre</i> | y) <i>Retail Store</i> |
| k) <i>Financial Institution</i> | z) <i>Retail Store with Bulk Sales</i> |
| l) <i>Food & Beverage Services</i> | aa) <i>RV Sales & Service</i> |
| m) <i>Food & Beverage Services – Drive-Through</i> | ab) <i>Storage Facility</i> |
| n) <i>Home Sales & Storage</i> | ac) <i>Trucking Depot</i> |
| o) <i>Institutional Uses</i> | ad) <i>Vehicle Fuel Sales – Key Lock</i> |
| | ae) <i>Vehicle Services</i> |
| | af) <i>Warehouse</i> |

7.14.3. Conditional Uses

- a) *Abattoir*
- b) *Cannabis Production Facility*
- c) *Junkyard*

7.14.4. Conditions of Use

- a) *Abattoir* – TBD
- b) *Cannabis Production Facilities* on part of **Lot** legally described as Block B of District Lots 12353 AND 7167 Kootenay District (PID 024-015-016).



- c) *Junkyard* – TBD

7.14.5. Lot Dimensions

- a) Minimum *Lot Width* 18.0 m
- b) Minimum *Lot Area* 540 m²
- c) Minimum *Lot Depth* 27.0 m

7.14.6. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	6.0 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	4.5 m	3.0 m
iii) <i>Interior Side Setback to Lot Line</i>	3.0 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m
v) <i>See Section 6.3</i> for additional <i>Setbacks</i> for <i>Vehicle Services</i> .		

7.14.7. Lot Coverage

- i) Maximum *Lot Coverage* of all *Structures* 70%
- ii) Maximum *Lot Coverage* of all *Structures* and *Impermeable Surfaces* 80%
- iii) Maximum *Lot Coverage* of *Accessory Building or Structure(s)* None

7.14.8. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure Building or Structure</i>
i) Maximum <i>Height</i>	14.0 m	14.0 m

7.14.9. Other Regulations

- a) A maximum of one (1) *Shipping Container* per *Lot* may be used for permanent storage.

7.15 M2: Heavy Industrial

7.15.1. Purpose

To allow for heavy Industrial *Developments* that may carry out a portion of their operation outdoors or require outdoor storage areas, with limited supporting commercial businesses. Any nuisance conditions associated with such *Developments* are minimal.

7.15.2. Permitted Uses

- | | |
|--|---|
| a) <i>Building Supplies – Storage & Wholesale</i> | m) <i>Office</i> |
| b) <i>Bulk Fuel Depot</i> | n) <i>Public Transit Facility</i> |
| c) <i>Cannabis Production Facility</i> | o) <i>Recycling Depot</i> |
| d) <i>Concrete Batch Plant</i> | p) <i>Sewage Treatment Plant</i> |
| e) <i>Equipment Sales & Rental – Industrial</i> | q) <i>Storage – Heavy Industry</i> |
| f) <i>Food Processing</i> | r) <i>Storage Facility</i> |
| g) <i>Home Building, Sales & Storage</i> | s) <i>Technology & Data Centre</i> |
| h) <i>Home Sales & Storage</i> | t) <i>Trucking Depot</i> |
| i) <i>Industrial – Light</i> | u) <i>Utility</i> |
| j) <i>Industrial – Medium</i> | v) <i>Vehicle Fuel Sales – Key Lock</i> |
| k) <i>Junkyard</i> | w) <i>Vehicle Services</i> |
| l) <i>Natural Resource Extraction & Processing</i> | x) <i>Warehouse</i> |

7.15.3. Lot Dimensions

- | | |
|-----------------------------|----------------------|
| a) Minimum <i>Lot Width</i> | 36.0 m |
| b) Minimum <i>Lot Area</i> | 4,000 m ² |
| c) Minimum <i>Lot Depth</i> | 60.0 m |

7.15.4. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	7.5 m	0.0 m
ii) <i>Exterior Side Setback to Lot Line</i>	6.0 m	0.0 m
iii) <i>Interior Side Setback to Lot Line</i>	6.0 m	0.0 m
iv) <i>Rear Setback to Lot Line</i>	0.0 m	0.0 m
v) <i>See Section 6.3</i> for additional <i>Setbacks</i> for <i>Vehicle Services</i> .		

7.15.5. Lot Coverage

- | | |
|--|------|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | None |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | None |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | None |

7.15.6. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	None	None
ii) Maximum First <i>Storey Height</i>	n/a	None

7.15.7. Other Regulations

- a) There is no maximum number of Shipping Containers per *Lot* used for permanent storage in this *Zone*.

7.16 M3: Industrial - Hydro-Electric Generation

7.16.1. Purpose

To allow for heavy Industrial *Developments* that may have the potential to create nuisance conditions that extend beyond the boundaries of the Site, and to allow for Industrial operations that have large land requirements.

7.16.2. Permitted Uses

- | | |
|--|--|
| a) <i>Hydro-Electric Generation</i> | e) <i>Recycling Plant</i> |
| b) <i>Industrial - Heavy</i> | f) <i>Storage Facility</i> |
| c) <i>Natural Resource Extraction & Processing</i> | g) <i>Technology & Data Centre</i> |
| d) <i>Office</i> | h) <i>Utility</i> |
| | i) <i>Warehouse - Large</i> |

7.16.3. Lot Dimensions

- | | |
|-----------------------------|----------------------|
| a) Minimum <i>Lot Width</i> | 36.0 m |
| b) Minimum <i>Lot Area</i> | 4,000 m ² |
| c) Minimum <i>Lot Depth</i> | 60.0 m |

7.16.4. Minimum Setbacks

- | | a) <i>All Buildings</i> |
|---|-------------------------|
| i) <i>Front Setback to Lot Line</i> | 0.0 m |
| ii) <i>Exterior Side Setback to Lot Line</i> | 0.0 m |
| iii) <i>Interior Side Setback to Lot Line</i> | 0.0 m |
| iv) <i>Rear Setback to Lot Line</i> | 0.0 m |

7.16.5. Lot Coverage

- | | |
|--|------|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | None |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | None |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | None |

7.16.6. Maximum Building Height

- | | a) <i>Principal Building</i> | b) <i>Accessory Building or Structure</i> |
|--|------------------------------|---|
| i) Maximum <i>Height</i> | None | None |
| ii) Maximum First <i>Storey Height</i> | n/a | None |

7.16.7. Other Regulations

- a) There is no maximum number of Shipping Containers per *Lot* used for permanent storage in this *Zone*.

7.17 P1: Public & Institutional

7.17.1. Purpose

To allow for larger facilities that provide *Institutional* services, educational, cultural, community services, or recreational activities.

7.17.2. Permitted Uses

- | | |
|---|---|
| a) <i>Campground</i> | h) <i>Outdoor Market</i> |
| b) <i>Cemetery & Columbarium</i> | i) <i>Office</i> |
| c) <i>Childcare Centre</i> | j) <i>Public Transit Facility</i> |
| d) <i>Exhibition Centre</i> | k) <i>Recreation – Outdoor</i> |
| e) <i>Funeral Home</i> | l) <i>Recreation & Entertainment – Indoor</i> |
| f) <i>Hospital & Medical Services</i> | m) <i>Social Services – Daytime</i> |
| g) <i>Institutional Uses</i> | n) <i>Social Services – Overnight</i> |

7.17.3. Lot Dimensions

- | | |
|-----------------------------|----------------------|
| a) Minimum <i>Lot Width</i> | 24.0 m |
| b) Minimum <i>Lot Area</i> | 1,000 m ² |
| c) Minimum <i>Lot Depth</i> | 27.0 m |

7.17.4. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	6.0 m	1.5 m back from principal
ii) <i>Exterior Side Setback to Lot Line</i>	6.0 m	1.5 m
iii) <i>Interior Side Setback to Lot Line</i>	6.0 m	1.5 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	1.5 m

7.17.5. Lot Coverage

- | | |
|--|------|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | 75% |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | 85% |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | None |

7.17.6. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	12.0 m	12.0 m
ii) Maximum <i>First Storey Height</i>	n/a	None

7.18 P2: Public Utilities

7.18.1. Purpose

To allow for the creation and protection of infrastructure, systems and facilities that provide a public benefit.

7.18.2. Permitted Uses

- | | |
|----------------------------------|----------------------------------|
| a) <i>Government Institution</i> | e) <i>Sewage Treatment Plant</i> |
| b) <i>Recreation - Outdoor</i> | f) <i>Storage Facility</i> |
| c) <i>Recycling Depot</i> | g) <i>Utility</i> |
| d) <i>Recycling Plant</i> | |

7.18.3. Lot Dimensions

- | | |
|-----------------------------|--------------------|
| a) Minimum <i>Lot Width</i> | 5.0 m |
| b) Minimum <i>Lot Area</i> | 150 m ² |
| c) Minimum <i>Lot Depth</i> | 10.0 m |

7.18.4. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	6.0 m	0.0 m
ii) <i>Exterior Side Setback to Lot Line</i>	6.0 m	0.0 m
iii) <i>Interior Side Setback to Lot Line</i>	6.0 m	0.0 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	0.0 m

7.18.5. Lot Coverage

- | | |
|--|------|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | None |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | None |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | None |

7.18.6. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	12.0 m	12.0 m
ii) Maximum First <i>Storey Height</i>	n/a	None

7.19 P3: Parks & Open Space

7.19.1. Purpose

To allow for limited *Development* on parkland intended to serve neighbourhood-level needs and users, and to protect natural areas, and maintain ecological processes. This *Zone* is intended to accommodate features like community league *Buildings*, active or passive recreation opportunities, and playgrounds in community parks, pocket parks, greenways, outdoor recreation areas, open spaces, and natural areas.

7.19.2. Permitted Uses

- | | |
|-----------------------------|---|
| a) Cemetery and Columbarium | d) <i>Recreation – Outdoor</i> |
| b) <i>Museum</i> | e) <i>Recreation & Entertainment – Indoor</i> |
| c) <i>Office</i> | |

7.19.3. Lot Dimensions

- | | |
|-----------------------------|--------------------|
| a) Minimum <i>Lot Width</i> | 5.0 m |
| b) Minimum <i>Lot Area</i> | 150 m ² |
| c) Minimum <i>Lot Depth</i> | 10.0 m |

7.19.4. Minimum Setbacks

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) <i>Front Setback to Lot Line</i>	6.0 m	0.0 m
ii) <i>Exterior Side Setback to Lot Line</i>	6.0 m	0.0 m
iii) <i>Interior Side Setback to Lot Line</i>	6.0 m	0.0 m
iv) <i>Rear Setback to Lot Line</i>	6.0 m	0.0 m

7.19.5. Lot Coverage

- | | |
|--|------|
| i) Maximum <i>Lot Coverage</i> of all <i>Structures</i> | None |
| ii) Maximum <i>Lot Coverage</i> of all <i>Structures</i> and <i>Impermeable Surfaces</i> | None |
| iii) Maximum <i>Lot Coverage</i> of <i>Accessory Building or Structure(s)</i> | None |

7.19.6. Maximum Building Height

	a) <i>Principal Building</i>	b) <i>Accessory Building or Structure</i>
i) Maximum <i>Height</i>	None	None
ii) Maximum First <i>Storey Height</i>	n/a	None

Part 8: Parking

8.1 Application of Regulations

- 8.1.1. Space for the Off-*Street* Parking and Loading of motor vehicles in respect of a Building, Structure or Use permitted under this Bylaw shall be provided and maintained in accordance with the regulations of this section.
- 8.1.2. Where access is required to any Highway under the jurisdiction of the Ministry of Transportation and Infrastructure, the number, size and layout of Off-*Street Parking Spaces* shall be in accordance with Ministry of Transportation and Infrastructure standards and specifications.

8.2 Exemptions

- 8.2.1. The regulations contained in this section shall not apply to Buildings, Structures and Uses existing on the effective date of this Bylaw.
- 8.2.2. Notwithstanding [Policy 8.2.1](#) above, the parking regulations of the Bylaw found in [Part 8: Parking](#) shall apply where:
 - a) There is a physical addition to an existing Building or Structure that exceeds 10% of the existing Floor Area; or
 - b) There is a change in the Principal Use.

8.3 Number of Parking Spaces

- 8.3.1. The number of Off-*Street* Parking Spaces for motor vehicles required for any *Use* is calculated according to "[Table 6: Parking Space Requirements](#)" of this Section.
- 8.3.2. The number of Off-*Street* Loading Spaces is calculated according to "[Table 7: Loading Space Requirements](#)" of this Section.
- 8.3.3. In respect of a *Use* permitted under this Bylaw which is not specifically referred to in [Table 6](#) and [Table 7](#), the number of Off-*Street* Parking and *Loading Spaces* is calculated on the basis of the requirements for a similar *Use* that is listed in [Table 6](#) and [Table 7](#).
- 8.3.4. Where the calculation of the required Off-*Street* Parking and *Loading Spaces* results in a fraction, one parking or *Loading Space* shall be provided in respect of the fraction.
- 8.3.5. Where the number of employees is used as a unit of measurement, it shall mean the greatest number of persons at work, at any time of the day or night in a particular Building or for a particular *Use* during any season of the year.
- 8.3.6. Where seating accommodation is used as, or is the basis for, a unit of measurement, and such accommodation consists of benches, pews, booths, and the like, each 0.5 m (18 inches) of width of such seating accommodation shall be counted as one seat.
- 8.3.7. Where more than one *Use* is located on a *Lot*, the total number of parking or *Loading Spaces* to be required shall be the sum total of the requirements for each *Use*.
- 8.3.8. Where more than one *Use* is located in a Building, the total number of Parking Spaces to be required may recognize the mix of uses and determine the number of spaces required based on the various portions of the Building dedicated to each *Use*.

- 8.3.9. Where more than one standard may apply to a *Use*, the standard requiring the greatest number of Parking Spaces shall be used.

8.4 Parking Spaces -Location and Siting

- 8.4.1. Off-*Street* Parking Spaces shall comply with the minimum Setbacks specified in [3.3 Siting of Uses, Buildings & Structures](#) of this Bylaw.
- 8.4.2. Unless specified elsewhere, all Off-*Street* Parking Spaces shall be located on the same *Lot* as the Building, business, or *Use* they serve.
- 8.4.3. Notwithstanding [8.4.2](#) above, in the C1 and C2 zones, Off-*Street* Parking Spaces may be located on another *Lot* within 125.0 m of the Building or *Use* they serve, conditional upon:
 - a) Legal assurances being established to ensure the Parking Spaces are used only for the parking serving the subject Building or *Use*; and
 - b) Where more than one business or *Use* proposes to *Use* the same Parking Area, Parking Spaces may be provided for collectively if the total number of spaces provided is not less than the total of the separate requirements for each business or *Use*.
- 8.4.4. In addition to [8.4.3](#) above, within the C3 and C4 zones, Off-*Street* Parking Spaces within a Front Yard shall be subject to the following:
 - a) Parking Spaces must be no closer than 2.0 m from the Front Lot Line, the Exterior Side Lot Line, and any Interior Side Lot Line that abuts an "R" zone; and
 - b) The entire *Setback* area between *Lot* lines and Parking Spaces shall contain Landscaping.
- 8.4.5. Off-*Street* Parking Spaces within a Rear Yard shall not be closer to an Exterior Side Lot Line than is permitted in the Side Yard.

8.5 Loading Spaces - Location and Siting

- 8.5.1. Off-*Street* Loading Spaces shall be located on the same *Lot* as the *Use* they serve.
- 8.5.2. Off-*Street* Loading Spaces for any commercial *Use* along 5th Avenue shall not be located within the Front Yard.
- 8.5.3. Off-*Street* Loading Spaces for commercial uses outside of 5th Avenue should not be located within the Front Yard, but may be permitted in the Front Yard if the site does not permit a logical *Loading Space* in the *Rear Yard* or *Side Yard*.
- 8.5.4. Off-*Street* Loading Spaces shall not be located closer than 7.5 m to the nearest point of intersection of any two *Street* or *Lane* allowances.
- 8.5.5. All *Loading Spaces* must be hard surfaced and drained such that all water is contained on the *Lot* or is directed to a municipal drainage system or to a natural drainage course.

8.6 Use of Parking Facilities

- 8.6.1. Required Off-*Street* Parking Spaces shall not be used for Off-*Street* Loading, *Driveways*, commercial repair work, display, sale or storage of goods of any kind.

8.7 Accessible Parking Spaces

8.7.1. Accessible Parking Spaces shall be provided in accordance with the following table:

Table 4: Accessible Parking Space Requirements

Total Parking Spaces Required	# of stalls Accessible Parking Spaces Required
1-20	1
21-40	2
41-60	3
>60	1 per 25 spaces - rounding up to the nearest whole number

8.8 Parking Areas - Design Standards

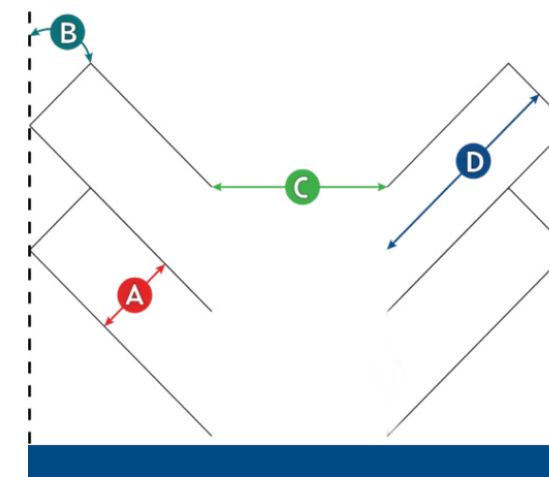


Figure 6: Parking Design Standards

- 8.8.1. The following minimum standards shall be met for all parking *Lot* design for multi-unit residential *Buildings*, commercial, Industrial and *Institutional Developments*:
- 8.8.2. Off-Street Parking Areas should provide signage for pedestrians indicating the safest and most efficient route through the Parking Area.
- 8.8.3. Off-Street Parking Areas and Off-Street Loading Areas should be illuminated.
- 8.8.4. Light fixtures shall be designed to minimize light pollution and the amount of light falling onto abutting properties.

- 8.8.5. Light fixtures shall be located along primary pedestrian corridors to promote the safety of those utilizing parking lots.
- 8.8.6. All Parking Areas comprised of four (4) or more Parking Spaces, and every access road to the required Parking Areas, shall be hard surfaced with paving materials and drained such that all water is managed on the *Lot* or is directed to a municipal drainage system or to a natural drainage course.
- 8.8.7. All Parking Areas and Loading Areas shall be provided with adequate curbs or other barrier(s) in order to retain all vehicles within such permitted *Parking Area* and to ensure that required Fences, wall, hedges or landscaped areas, as well as any Buildings, will be protected from parked vehicles.
- 8.8.8. The following minimum standards shall be met for all Parking Spaces and Parking Area design:

Table 5: Parking Area Design Standards



A	B	C	D
Width of Stall (metres)	Angle of Parking (degrees)	Width of Aisle (metres)	Depth of Stall (metres)
2.6 (8.5 ft.)	0 / Parallel	N/A	7.0 (23 ft.)
2.6	30	3.1	5.5 (18 ft.)
2.6	45	3.7	5.5
2.6	60	5.2	5.5
2.6	90	7.3	5.5

- 8.8.9. When a Parking Space adjoins a Fence or Structure over 0.3 m in *Height*, the width of the Parking Space shall be increased by 0.3 m on the side or sides which abut such Fence or Structure to enable the opening of vehicle doors.

8.9 Ingress & Egress

8.9.1. All points of ingress and egress (e.g. *Driveways*) to a Parking Area or to a Loading Area shall be subject to the approval of the Superintendent of Public Works or their designate.

8.10 Driveway Requirements

8.10.1. All new points of ingress and egress (including *Driveways*) to a *Highway*, public road or *Lane* to a property shall be subject to the approval of the Superintendent of Public Works or their designate.

8.11 Voluntary Establishment of Parking Areas

8.11.1. Where Off-Street Parking Areas and Off-Street Loading Areas are provided when not required, the location, design and operation of such facilities must comply with the regulations and standards of this section.

8.12 Municipal Parking Reserve Fund

8.12.1. Notwithstanding **8.13 Parking Space Requirements**, a *Development* may be permitted to pay cash-in-lieu of providing the required number of Off-*Street* Parking Spaces. Cash-in-lieu payment for Parking Space requirements shall comply with the following:

- a) The payment amount shall be determined by multiplying the number of parking stalls required as per **8.13 Parking Space Requirements** in this Bylaw with the cash in-lieu per *Parking Space* amount as specified in a *City* bylaw;
- b) The monies shall be placed in the *City's* Parking Facilities Reserve Fund;
- c) In the CPA, RMU, and RC zones cash-in-lieu is not permitted.
- d) In the R1, R2 and R3 zones cash-in-lieu may not exceed 33% of the total required Parking Spaces.
- e) In the C1, C2, C3, and C4 zones cash-in-lieu may not exceed 75% of the total required Parking Spaces.
- f) In the M1 and M2 zones cash-in-lieu may not exceed 15% of the total required Parking Spaces.

8.13 Parking Space Requirements

8.13.1. Off-Street Parking Spaces for each Building, Structure, or Use must be provided in accordance with the following **Table 6: Parking Space Requirements**. Where a proposed Use is not specifically listed the *Development* shall conform to the standard of a similar Use in **Table 6: Parking Space Requirements** at the discretion of the *City*:

Table 6: Parking Space Requirements

<i>Use</i>	Minimum Parking Space Requirements
Residential (R) Uses	
<i>Non-Market Housing</i>	0.25 spaces per <i>Dwelling Unit</i>
<i>Bed & Breakfast</i> / Short-Term Rental Units	0.5 space per bedroom to a maximum of 4 spaces
<i>Dwelling Unit - Mixed-Use Building</i>	0.25 spaces per <i>Dwelling Unit</i>
<i>Residential Building</i> , 1-2 units	1 space per <i>Dwelling Unit</i>
<i>Residential Building</i> , 3-4 units	3 spaces per <i>Building</i>
<i>Residential Building</i> , 5-8 units	0.5 spaces per <i>Dwelling Unit</i> + 0.25 spaces per unit for visitors
<i>Dwelling, Accessory Unit</i>	0.5 spaces per <i>Dwelling Unit</i>
<i>Home-Based Business - Major</i>	1 space per <i>Dwelling Unit</i>
<i>Home-Based Business - Minor</i>	None
<i>Special Care Facility</i> / Caretaker Home	1 space per 4 <i>Dwelling Unit(s)</i>

Commercial (C) Uses

All Commercial Uses located in a Mixed-Use Building	1 space per 100 m ² of GFA
Agricultural Use / Cannabis Production Facility	0.25 spaces per 100 m ² of GFA
Airport & Related Uses	0.25 spaces per 100 m ² of GFA
Animal Services – Boarding Daytime	3 spaces per 100 m ² of GFA
Animal Services – Boarding Overnight & Breeding	
Animal Services – Veterinary Clinic	
Campground	1 space per campsite +2 spaces per 100m ² GFA for all Accessory activities including, but not limited to indoor display, Office, administration, rental, or retail sales.
Casino	0.25 spaces per 100 m ² of GFA
Food & Beverage Services	5 spaces per 100 m ² of GFA
Office	2 spaces per 100 m ² of GFA
Overnight Accommodation	1 space per room + 2 spaces per 100m ² GFA for all Accessory activities including, but not limited to indoor display, Office, administration, rental, or retail sales.
Personal Services (beauty parlor/barber shop – 1 Storey)	3 spaces per 100 m ² of GFA
Service / Repair Shop	3 spaces per 100 m ² of GFA
Service Station	2.5 spaces per 100 m ² of GFA
Shopping Centre	2 spaces per 100 m ² of GFA
Funeral Home	4 spaces per 100 m ² of GFA
Vehicle Rental & Sales	0.25 spaces per 100 m ² of GFA

Industrial (I) Uses

General Parking Regulation:	1 space per 100 m ² of GFA + 2.5 spaces per 100m ² GFA for all Accessory activities including, but not limited to indoor display, Office, administration, rental, or retail sales.
Warehousing & Storage Buildings	0.5 spaces per 100 m ² of GFA + 2.5 spaces per 100m ² GFA for all Accessory activities including, but not limited to indoor display, Office, administration, rental, or retail sales.

Institutional / Public Uses (P)

All Institutional or Public Uses in a Mixed-Use Commercial (C) Zone	3 spaces per 100 m ² of GFA
Institutional Uses	2 spaces per 100 m ² of GFA
Convention Centre / Exhibition Centre	4 spaces per 100 m ² of GFA
Childcare Centre	2.5 spaces per 100 m ² of GFA
Education Facility	1.5 spaces per 100 m ² of GFA
Emergency & Protective Services	4 spaces per 100 m ² of GFA
Hospital	10 reserved doctor spaces + 1 space per 5 beds
Medical Clinic	2 spaces per 100 m ² of GFA
Recreation & Entertainment – Indoor	2 spaces per 100m ² of GFA
Social Services – Daytime	2 spaces per 100 m ² of GFA
Social Services – Overnight	1 space per 5 beds

Part 9: Loading Spaces

- 9.13.1. Each Off-Street Loading Space required by this Bylaw shall not be less than 2.5 m in width and 9m in length. In no case shall the length of the Loading Space be such that a vehicle in the process of loading or unloading shall project into any Highway (including roads and Lanes).
- 9.13.2. Off-Street Loading Spaces for each Building, Structure, or Use must be provided in accordance with the following table:

Type of Development (Use)	Required Loading Spaces
All Commercial Uses located in a Mixed-Use Building	0.2 per 1,000 m ² GFA
Commercial Uses	0.5 per 1,000 m ² GFA
Hotels/Motels	0.3 per 1,000 m ² GFA
Industrial Uses	0.5 per 1,000 m ² GFA
Institutional Uses	0.3 per 1,000 m ² GFA

Part 10: Definitions

The following definitions pertain to terms and words used within the Zoning Bylaw.

Term	Definition
Abattoir	Means a premise where animals are slaughtered and meat is prepared, packaged, or stored. This includes multi-location or mobile abattoirs.
Abut Abutting Abuts	Means immediately contiguous to, or physically touching, and when used with respect to lots or sites means two that share a common Lot Line.
Accessory Building or Structure Accessory Building or Structure(s) Accessory Building Accessory Structure	Means a minor, free-standing Building or Structure located on the same Lot as the Principal Building or Structure to which it is Accessory, and is Incidental, subordinate, and secondary to the Principal Building or Structure (See Also: Principal Building or Structure, Incidental Use). For reference, see also Figure 10
Accessory Use	Means a non-Principal Use that is secondary or subordinate to the existing Principal Use or Building on the same Lot.
Affordable Housing	Means housing provided for households who have difficulty finding market housing without spending more than 30% of their income to attain such housing.
Agricultural Use	Means the cultivation and harvesting of crops and/or the raising of livestock and includes the sale of the products of the Agricultural Use from the premises.
Airport	Means a Use of land, Buildings or Structures for arrival and departure of aircraft and their passengers and freight, and includes runways, fuel storage and sales, taxiways, hangars, ticket offices, luggage and freight handling facilities.
Aisle	Means an area, adjoining Parking Spaces, where a motor vehicle maneuvers into or out of a Parking Space, excluding Driveways; (See Also: Driveway, Parking Space).
Amenity Area	Means a usable open or recreational space for the Use of residents and includes, but is not limited to: balconies, sundecks, terraces, landscaped gardens, games rooms, swimming pools, tennis courts, saunas, playgrounds and similar recreational and landscaped areas.
Animal Services – Boarding Daytime	Means premises in which care is provided to domesticated animals during the day and includes, but is not limited to: the provision of pet training services and pet grooming, but does not include breeding or animal boarding facilities (See Also: kennel, pet grooming).

Term	Definition
Animal Services – Boarding Overnight & Breeding	Means the provision of daytime and overnight boarding services for domestic or farm animals and may include the provision of animal breeding or training services.
Animal Services Veterinary Clinic	Means a facility for the medical treatment of small or large animals and includes provision for their <i>Overnight Accommodation</i> and may include associated <i>Office</i> space.
Art Gallery & Studio	Means an establishment or business engaged in the creation, sale, loan, or display of art paintings, sculpture, books, or other works of art and may include retail and studio components.
Assembly Facility	Means a <i>Building</i> or <i>Structure</i> dedicated to the gathering of persons for religious, entertainment, philanthropic, or cultural purposes and includes, but is not limited to, places of worship, auditoriums, youth centres, halls, and senior citizen centres and does not include overnight accommodations.
Auction Facility – Animals	Means land, <i>Buildings</i> and <i>Structures</i> used for the storage and sale of animals by auction.
Auction Facility – Goods	Means land, <i>Buildings</i> and <i>Structures</i> used for the storage and sale of goods by auction.
Balcony	Means an extension of a floor projecting from the wall of a <i>Building</i> and enclosed by a parapet or railing.
Bed & Breakfast	Means a type of <i>Home-Based Business</i> conducted within a Principal <i>Dwelling</i> Unit or an <i>Accessory Dwelling Unit</i> that is operated by the residents of the Principal <i>Dwelling</i> Unit and provides sleeping accommodations to the traveling public and the provision of limited food services for those persons using the sleeping accommodations.
Building Buildings	Means a <i>Structure</i> wholly or partly enclosed by a roof or roofs supported by walls or columns and used for the shelter or accommodation of persons, animals, chattels, or things (See Also: <i>Structure</i>).
Building Height	Means the vertical distance measured from the average <i>Natural Grade</i> level at all <i>Building</i> faces surrounding a <i>Building</i> to: <ul style="list-style-type: none"> · The highest point on a flat roof; · The average level between the eaves and ridge of a gable, hip or gambrel roof or other type of pitched roof; or · The greater of the two measurements referred to above in the case of a <i>Building</i> with more than one type of roof. For reference, see also Figure 7
Building Inspector	Means the person appointed from time to time by <i>Council</i> as the <i>Building Inspector</i> for the <i>City</i> of Castlegar or that appointed person's designate as appointed by the <i>City's</i> Chief Administrative Officer.

Term	Definition
Building Line	Means the extended line of the wall of the <i>Building</i> or any portion of the <i>Building</i> which faces the line of the <i>Lot</i> . For reference, see also Figure 9
Building Line, Front Front Building Line	Means a line parallel to the <i>Front Lot Line</i> drawn across the <i>Lot</i> through the point where a <i>Building</i> on the <i>Lot</i> is closest to the <i>Front Lot Line</i> . (See also: <i>Lot Line, Front</i>). For reference, see also Figure 9
Building Line, Rear Rear Building Line	Means a line parallel to the <i>Rear Lot Line</i> drawn across the <i>Lot</i> through the point where a <i>Principal Building</i> on the <i>Lot</i> is closest to the <i>Rear Lot Line</i> . (See also: <i>Lot Line, Rear</i>). For reference, see also Figure 9
Building Line, Side Side Building Line	Means a line parallel to the <i>Interior Side Lot Line</i> drawn across the <i>Lot</i> through the point where a <i>Building</i> on the <i>Lot</i> is closest to the <i>Interior Side Lot Line</i> . (See Also: <i>Lot Line, Interior Side</i>). For reference, see also Figure 9
Building Supplies – Retail	Means a <i>Building</i> or <i>Structure</i> in which <i>Building</i> , construction, or home improvement supplies are offered for retail sale.
Building Supplies – Storage & Wholesale	Means a <i>Building</i> or <i>Structure</i> in which <i>Building</i> , construction, or home improvement supplies are stored and offered for wholesale distribution and sale.
Bulk Fuel Depot	Means lands, <i>Buildings</i> or <i>Structures</i> for storage and distribution of petroleum fuel but does not include gasoline stations or gasoline key locks (See Also: gasoline station, gasoline key lock).
Bylaw Enforcement Office	Means the person appointed by the Chief Administrative Officer as the Bylaw Enforcement Officer for the <i>City</i> of Castlegar or that appointed person's designate.
Campground	Means a facility used for temporary occupancy for recreational purposes, by tents or recreational vehicles but excluding Manufactured Homes, and where the duration of each occupancy of one location by a <i>Recreational Vehicle</i> is less than 28 days.
Cannabis	Means <i>Cannabis</i> as defined in the <i>Cannabis</i> Act as amended from time to time and includes <i>Cannabis</i> derivatives and products containing <i>Cannabis</i> .
Cannabis Production Facility Cannabis Production Facilities	Means a facility for growing, producing, processing, testing, packaging, storing, shipping, delivering, or destroying of <i>Cannabis</i> that is licensed or authorized by all applicable authorities having jurisdiction.
Cannabis Retail	Means the retail sale of <i>Cannabis</i> or <i>Cannabis</i> accessories as lawfully permitted and authorized under the <i>Cannabis</i> Control and Licensing Act.

Term	Definition
Cemetery & Columbarium	Means a place used for interment of human or animal remains or cremated remains, including a burial park for earth interments, a mausoleum for vault or crypt interments, a columbarium for incinerary interments, or a combination thereof.
Childcare Centre	Means a facility for children which includes group day care, family day care, pre-school, out-of-school care, child minding, specialized day care and emergency care (See Also: Community Service).
City	Means the City of Castlegar.
Community Service	Means an establishment used by a non-profit society such as, but not limited to: <ul style="list-style-type: none"> · Providing information, referral, counseling, advocacy or physical or mental health services on an out-patient basis; or · Dispensing aid in food or clothing; or · Providing drop-in or activity space; but does not include residential uses (See Also: Childcare Center).
Concrete Batch Plant	Means a plant for the manufacture or mixing of concrete, cement, and concrete and cement products, including any apparatus and uses incident to such manufacturing and mixing.
Convention Centre	Means a large commercial facility used for assemblies or meetings of the members or representatives of groups, including exhibition space and may include temporary outdoor displays, and food and beverage preparation and service for on-premise consumption.
Council	Means the duly elected Council of the City of Castlegar.
Cooking Facility	Means a set of equipment, devices or appliances that can be utilized to prepare a meal such as ranges, stoves, counter-top cooking units, hot plates, wall ovens, convection ovens, toaster ovens or any other similar cooking appliances and includes the electric outlets or plumbing for the installation of such facilities.
Cul-de-sac Cul-de-sacs	A dead-end street providing at the closed end a special enlarged turnaround area for vehicular traffic.
Development Developments	Means the carrying on of any construction or excavation or their operation, in, on, over, or under land or water; or the making of any change in the Use or intensity of Use of any land, water, Building or premises.
Development Permit Area	Means areas designated as Development Permit Areas in Castlegar's Community Plan. These areas identify locations that need special treatment for certain purposes including the protection of Development from hazards, establishing objectives for form and character in specified circumstances, or revitalization of a commercial Use area.

Term	Definition
Drive-through	See Food & Beverage Services - Drive-Through
Driveway Driveways	Means a passageway for motor vehicles moving between: <ul style="list-style-type: none"> · A roadway and an Aisle; · Two Aisles; · A roadway and a Parking Space of a Dwelling; or · A roadway and a Loading Space (See Also: Aisle, Parking Space).
Dwelling Unit Dwelling Dwellings Dwelling Units Dwelling Unit(s)	Means one or more adjoining habitable rooms: <ul style="list-style-type: none"> · Used for the residential accommodation of a household; · Containing cooking facilities; and · Containing at least one bathroom with a water closet, wash basin and shower or bath.
Dwelling Unit, Accessory Accessory Dwelling Unit Accessory Dwelling Units ADU ADUs	Means a Dwelling Unit in a separate Building or within an existing Dwelling that: <ul style="list-style-type: none"> · Has been designed as a separate Dwelling Unit and has been established as a separate Dwelling Unit by permit; and · Is secondary and Accessory to the Lot's Principal Building, Structure, and Use.
Dwelling Unit - Mixed-Use Building	Means a Dwelling Unit in a Mixed-Use Building that is ancillary to the Principal Use , and located above or at the back of a Building .
Education Facility - Public Education Facility	Means Buildings and Structures used for the assembly of persons for public educational purposes, where classrooms, libraries, offices, recreational facilities and other related facilities are provided for course participants and staff.
Educational Institution - Private	Means Buildings and Structures used for the assembly of persons for private educational purposes, where classrooms, libraries, offices, recreational facilities and other related facilities are provided for course participants and staff.
Emergency & Protective Services	Means a public facility used by fire protection, police, ambulance, or other such services as a base of operations.
Equipment Sales & Rental - Industrial	Means a commercial enterprise where equipment, vehicles or machines are repaired and serviced for customers and may include rental of vehicles or equipment.
Exhibition Centre	Means an establishment with indoor and outdoor exhibits of animals, materials, objects, or human performance for the purpose of entertainment and may include the sale of merchandise, and food and beverages.

Term	Definition
Fence or Screening Fence Fenced Fences Fencing Screen Screening Screened	Means a physical or visual barrier formed by a trellis, louver, solid hedge of trees or shrubs, a wooden, metal, plastic or masonry <i>Structure</i> , or a combination thereof.
Financial Institution	Means a business that is open to the public and engaged in banking and that performs closely related functions such as making loans, and investments, and may include the provision of automatic teller machines.
Floor Area	Means the total <i>Floor Area</i> of all floors in a <i>Building</i> including a loft and/or basement measured to the extreme outer limits of the <i>Building</i> including all areas giving access thereto such as corridors, hallways, landings, foyers, staircases, stairwells, enclosed Balconies, enclosed mezzanines, enclosed porches, enclosed verandas.
Floor Area Ratio (FAR)	Means the figure obtained by dividing the gross <i>Floor Area</i> of all the <i>Buildings</i> on a <i>Lot</i> , including Accessory <i>Buildings</i> , by the <i>Lot Area</i> (See Also: GFA, <i>Lot Coverage</i> , <i>Unit Density</i>).
Food & Beverage Services – Drive-Through	Means a Food and Beverage Service <i>Use</i> that includes the sale or service of food or beverages to an occupant within a motorized vehicle.
Food & Beverage Services	Means a licensed establishment engaged in selling food and/or alcoholic beverages for immediate consumption on the premises and does not include a <i>Drive-through</i> .
Food & Beverage Services – Neighbourhood Pub	Means a licensed establishment chiefly engaged in selling alcoholic beverages for immediate consumption on the premises, with a secondary focus of preparing meals and snacks for immediate consumption on and off the premises, including a neighbourhood pub, tavern, cocktail bar, and wine bar.
Food & Beverage Services – Restaurant	Means establishments chiefly engaged in preparing meals, snacks and beverages, to customer order, for immediate consumption on and off the premises and is not licensed to sell alcohol. This definition includes, but is not limited to restaurants, bakeries, cafes, and pizzerias. Does not include Drive-Through Restaurant.
Food Processing	Means a facility in which raw farm products combined with other consumable ingredients to produce marketable products for consumption that can be easily prepared and served by the consumer, and where raw farm products may be warehoused prior to being sold either directly to consumers or for wholesale, and the selling of raw farm products either directly to consumers or for wholesale.

Term	Definition
Front Building Line	See <i>Building Line, Front</i>
Front Lot Line	See <i>Lot Line, Front</i>
Front Setback	See <i>Setback, Front</i>
Frontage	Means the length of a <i>Front Lot Line</i> (See Also: <i>Lot Line, Front</i>). For reference, see also Figure 8
Funeral Home	Means premises for the preparation of the dead for burial or cremation, and the holding of memorial services.
Gaming Centre	Means a gambling facility regulated by the British Columbia Lottery Corporation that provides for a variety of gaming opportunities, including, but not limited to, slot machines, bingo, Keno, lottery products and off-track horse betting.
Government Institution	Means a <i>Building</i> or <i>Structure</i> owned, operated, or occupied by a Provincial, Federal or Local Government agency.
Grade	Means the elevation of land or a surface.
Grade, Finished Finished Grade	Means the lowest of the average levels of finished ground adjoining each exterior wall of a <i>Building</i> , excluding localized depressions such as for a vehicle or pedestrian entrances.
Grade, Natural Natural Grade	Means the undisturbed ground elevation; the rough grading elevation as identified on a <i>Lot</i> grading plan at the time of subdivision; or where there is no approved <i>Lot</i> grading plan, the lowest ground elevation existing prior to construction, such ground elevation to include fill materials placed on the <i>Lot</i> to raise the ground elevation up to but not above the average elevation of adjacent lots at the adjoining <i>Lot</i> lines.
Gravel Processing	Means the processing of sand, gravel and rocks including preliminary grading, washing, crushing, and storing of such materials.
Gross Floor Area (GFA) Gross Floor Area	Means the sum of the areas of each <i>Storey</i> in each <i>Building</i> on a <i>Lot</i> measured between the exterior walls of such <i>Buildings</i> , excluding: portions of crawl spaces with less than 1.5 m (4.9 ft) clear <i>Height</i> , balconies, canopies, terraces, sundecks; and enclosed parking facilities (See Also: <i>Floor Area</i> Ratio).
Gross Site Area (GSA)	Means the total land area of any single or multi- <i>Lot Development</i> .
Guest Room Guest Rooms	Means a room that is rented for temporary <i>Overnight Accommodation</i> and does not include cooking facilities.

Term	Definition
Habitable Area	Means any room or space within a Building or Structure which is or can be used for human occupancy, commercial sales, or storage of goods, possessions or equipment (including furnaces) which would be subject to damage if flooded.
Habitable Space	Means space used for a residential purpose, such as living rooms, family rooms, dining rooms, bedrooms, bathrooms, or kitchens.
Heavy Manufacturing	See Manufacturing, Heavy
Height	Means the vertical distance from one point to another point.
Hen	Means a female chicken.
Highway Highways	Means a term defined in the Transportation Act as amended from time to time.
Home Building, Sales & Storage	Means the sale or storage of home Building materials, such as windows and mirrors, doors, flooring, wall and ceiling tiles, paint and wallpaper, bathroom and kitchen cupboards and fixtures and similar goods when offered for sale in a retail commercial establishment and does not include the fabrication of materials related to home improvements.
Home Sales & Storage	Means the sale or storage of complete residential Dwellings and may include an associated sales Building(s) or Office .
Home-Based Business Home-Based Businesses	Means an occupation or profession carried out in a Dwelling Unit, or a Building Accessory to a Dwelling Unit, primarily by a permanent resident(s) of the Dwelling Unit, where such occupation or profession is Accessory to the residential Use of the Dwelling Unit.
Home-Based Business - Minor	Means a classification of Home-Based Business as regulated by Section 5.2 of this Bylaw.
Home-Based Business - Major	Means a classification of Home-Based Business as regulated by Section 5.2 of this Bylaw.
Horticulture	Means the Use of land for growing trees, vegetables, plants, or flowers, and includes non-soil bound operations such as hydroponics.
Hospital & Medical Services Hospital Medical Services	Means an institution providing health services primarily for human inpatient or medical or surgical care for the sick or injured, and including the related facilities such laboratories, outpatient departments, training facilities, central service facilities, and staff offices which are integral parts of the facilities and includes medical clinics.
Hydro-Electric Generation	Means all aspects of any project or Development necessary for the generation of electricity from water power.

Term	Definition
Impermeable Surface Impermeable Surfaces	Means ground, covered ground, Buildings , or Structures which water cannot infiltrate. For reference, see also Figure 11
Incidental Use	Means a Use that is subordinate and customarily Incidental to a Use permitted in the Zone where the Use takes place; (See Also: Accessory Building).
Industrial - Heavy	Means an Industrial Use which may have a significant detrimental effect on the safety, Use , amenity, or enjoyment of adjacent or nearby sites due to appearance, noise, odour, emission of contaminants, fire or explosive hazards, or dangerous goods.
Industrial - Light	Means an Industrial Use which produces no significant smoke, vibration, smell, toxic fumes, electrical interference, electronic interference, or noise that, in any way, interferes with the Use of adjacent properties.
Industrial - Medium	Means an Industrial Use in which all or a portion of the activities and Use are carried out outdoors, without any significant nuisance factor such as noise, appearance, or odour, extending beyond the boundaries of the site. Any Development where the risk of interfering with the safety and amenity of adjacent or nearby sites, because of the nature of the site, materials, or processes, cannot be successfully mitigated, shall be considered an Industrial, Heavy Use . This does not include a biomedical waste facility.
Industrial Use	Means the manufacturing, processing, assembling, fabricating, testing, storing, transporting, distributing, wholesaling, servicing, repairing, wrecking, or salvaging of goods or materials, and does not include junkyards or Recycling Depot (See Also: light, medium and heavy Industrial Use).
Institutional Uses Institutional	Means a Use of land or Building(s) that: <ul style="list-style-type: none"> · Serves the public, or · Is associated with a government agency, registered charity, or non-profit organization and includes, but is not limited to: <ul style="list-style-type: none"> · Art gallery & studio, · Assembly facility, · Education facility - public, · Educational institution - private, · Library, · Museum, · Government Building or Use, or · Performing arts studio.
Junkyard	Means the area outside of an enclosed Building where junk, waste, used Building and Industrial materials, scrap metal, discarded or salvage materials are bought, sold, exchanged, stored, baled, parked, disassembled or handled.

Term	Definition
Landscape Buffer	Means an area of vegetated land
Landscape Screen Landscape Screening	Means an opaque barrier formed by a row of shrubs, trees or by a wooden <i>Fence</i> or masonry wall or by a combination of these (See also <i>Fence</i> or <i>Screening</i>).
Landscaping	Means any combination of trees, bushes, shrubs, plants, flowers, lawns, bark mulch, decorative gravel, decorative paving, planters, decorative <i>Fences</i> and the like, arranged and maintained so as to enhance the appearance of the property and shall not include paved Parking Areas, sidewalks, uncleared natural bush, undergrowth or weed growth.
Lane	Means a <i>Highway</i> wider than 3.0 m and narrower than 10 m (32.8 ft) (See Also: <i>Street</i>).
Library	Means a public, facility in which literary, musical, artistic, or reference materials such as but not limited to books, manuscripts, computers, recordings, or films are kept for <i>Use</i> by or loaning to patrons of the facility, but are not normally offered for sale.
Loading Space, Off-Street Off-Street Loading Off-Street Loading Space Off-Street Loading Spaces	Means a space within an <i>Off-Street Parking Area</i> for the loading and unloading of goods from motor vehicles, excluding <i>Driveways</i> , ramps, columns, offices and work areas.
Loading Facility Loading Area	Means a <i>Building, Structure</i> , or land, consisting of <i>Loading Spaces</i> and <i>Driveways</i> , designed, or intended for the purpose of loading and unloading goods (See Also: <i>Loading Space</i>).
Loading Space Loading Spaces	Means an open area used to provide free access for motor vehicles to a loading door, platform, or bay for the purpose of loading and unloading.
Lot	Means a parcel of land designated as a separate and distinct <i>Lot</i> on a legally recorded subdivision plan or description registered in the Land Title <i>Office</i> and does not include "strata lots" defined under the Strata Property Act.
Lot Area	Means the area of a <i>Lot</i> taken in a horizontal plane excluding the portions containing ravines, swamps riverbanks and similar features and the area within 7.5 m (24.6 ft) of those features.
Lot Coverage	Means the figure obtained by dividing the total area of those portions of a <i>Lot</i> that are covered by <i>Buildings</i> or <i>Structures</i> by the <i>Lot Area</i> , and for this purpose, the portions of a <i>Lot</i> that are covered by a roofed <i>Building</i> or <i>Structure</i> are measured to the drip line of the roof (See Also: <i>Floor Area Ratio</i>).

Term	Definition
Lot Depth	Means the horizontal distance between the mid points of <i>Front Lot Line</i> and <i>Rear Lot Line</i> , or the mid points of two Front <i>Lot</i> lines of a <i>Lot</i> . For reference, see also Figure 8
Lot Line	Means any line which forms the boundary of a <i>Lot</i> . For reference, see also Figure 8
Lot Line, Exterior Side Exterior Side Lot Line	Means the <i>Lot Line</i> not being the <i>Front Lot Line</i> or <i>Rear Lot Line</i> and being common to the <i>Lot</i> and a <i>Street</i> (See Also: <i>Lot Line, Interior Side</i>). For reference, see also Figure 8
Lot Line, Front Front Lot Line	Means the <i>Lot Line</i> common to the <i>Lot</i> and an abutting street, or where there is more than one <i>Lot Line</i> common to an abutting street, the shortest of these lines shall be considered as the front line; or in the case of a <i>Lot</i> abutting two parallel or approximately parallel street, the <i>Lot</i> lines abutting these two streets shall be considered as Front <i>Lot Lines</i> (See Also: <i>Frontage</i>). For reference, see also Figure 8
Lot Line, Interior Side Interior Side Lot Line	Means the <i>Lot Line</i> or lines, not being the front or <i>Rear Lot Line</i> , common to more than one <i>Lot</i> or to the <i>Lot</i> and a <i>Lane</i> ; (See Also: <i>Lot Line, Exterior Side</i>). For reference, see also Figure 8
Lot Line, Rear Rear Lot Line	Means the <i>Lot Line</i> opposite to and most distant from the <i>Front Lot Line</i> , or, where the rear portion of the <i>Lot</i> is bounded by intersecting Side <i>Lot Lines</i> , the <i>Rear Lot Line</i> shall be deemed to be the point of such intersection. For reference, see also Figure 8
Lot Width	Means the horizontal distance between the mid points of two Side <i>Lot Lines</i> that are located at opposite sides of the <i>Lot</i> . For reference, see also Figure 8
Lot, Corner Corner Lot	Means a <i>Lot</i> at the intersection or junction of two or more Streets.
Manufacturing, Heavy Heavy Manufacturing	Means the creating, fabricating, processing, production, assembly, or packaging of materials, goods, or products and their distribution, which may generate a detrimental impact, potential health or safety hazard or nuisance beyond the boundary of the <i>Lot</i> , and may include supplementary warehouse and staging facilities.
Manufacturing, Light Light Manufacturing	Means the creating, fabricating, processing, production, assembly, or packaging of materials, goods, or products and their distribution, which does not generate any detrimental impact, potential health or safety hazard or nuisance factors beyond the boundary of the <i>Lot</i> .

Term	Definition
Manufactured Home Park	Means any <i>Lot</i> , area or tract of land designed for the parking or other type of installation of Manufactured Homes on spaces or lots offered for lease or rent, including all improvements, <i>Buildings, Structures</i> , recreation areas, or other facilities for the <i>Use</i> of the residents of such <i>Development</i> .
Medical Clinic	Means physical or mental health care provided on an out-patient basis. Services may be of a preventative, diagnostic, treatment, therapeutic, rehabilitative, or counseling nature.
Microbrewery & Craft Distillery	Means a Licensed Microbrewery or Craft Distillery Facility that includes the brewing or distilling of alcoholic beverages or alcoholic products, which may include an associated bar, restaurant, public tasting, or may include the wholesale or retail sale of products that are manufactured on-site.
Mixed-Use	Means a type of urban <i>Development</i> or zoning classification that integrates multiple uses, such as Residential, Commercial, Cultural, or <i>Institutional</i> into one <i>Building</i> or <i>Lot</i> .
Mixed-Use Building	Means a <i>Building</i> which integrates a mixture of Residential and Commercial land uses.
Museum	Means an establishment, <i>Building</i> or institution devoted to the procurement, care, study and display of objects of lasting interest or value and may have a retail component.
Natural Boundary	Means the visible high water mark of any lake, river, stream or other body of water where the presence and action of the water are so common and usual and so long continued in all ordinary years as to mark upon the soil of the bed of the lake, river, stream or other body of water a character distinct from that of the banks thereof, in respect to vegetation, as well as in respect to the nature of the soil itself. In addition, the <i>Natural Boundary</i> includes edge of dormant or old side channels and marsh areas.
Natural Resource Extraction & Processing	Means the extraction of natural resources, including, but not limited to, minerals, sand, gravel, coal, peat, limestone, gypsum, granite, and salt found on or under the site, or accessible from the site. It also includes processing of the natural resources and may include crushing, washing, sifting, and the preparation of the materials. This definition includes <i>Gravel Processing</i> .
Non-Market Housing	Means housing along the housing spectrum, ranging from supportive housing or those experiencing homelessness to affordable rental housing and affordable home ownership.

Term	Definition
Office	Means a professional, management, administrative, clerical, and consulting service, but excludes health and medical services, veterinary services, the sale, rental, servicing, or repair of goods, and the manufacture or processing of a product.
Outdoor Market	Means a temporary, seasonal or occasional market held in an open area or in a <i>Structure</i> where groups of individual sellers offer for sale to the public items such as fresh farm produce, food, beverages, arts, crafts and other retail goods.
Overnight Accommodation	Means temporary (maximum stay of 30 consecutive days) lodging for the travelling public and includes hotels, motels, and hostels and may include adjoining restaurants, pubs, banquet rooms, theatres, and <i>Retail Stores</i> .
Overnight Accommodation - Large	Means <i>Overnight Accommodation</i> with 24 or more units.
Overnight Accommodation - Medium	Means <i>Overnight Accommodation</i> with less than 24 units.
Pad	Means a paved surface on which blocks, posts, runners or strip footings are placed for the purpose of supporting a Manufactured Home or unit.
Park Model Trailer	Means a trailer built on a single chassis to Canadian Standards Association standards in the CAN/CSA-Z241 series, Park Model Trailers.
Parking Facility Parking Area	Means a <i>Building, Structure</i> , or land, consisting of <i>Parking Spaces</i> , Aisles and <i>Driveways</i> , designed or intended for parking of motor vehicles.
Parking, Off-Street Off-Street Parking	Means available <i>Parking Spaces</i> for vehicles within a surface parking <i>Lot</i> , personal garage, or parking <i>Structure</i> on a <i>Lot</i> .
Parking, On-Street On-Street Parking	Means available <i>Parking Spaces</i> for vehicles on a public or strata <i>Street</i> or <i>Highway</i> .
Parking Space Parking Spaces	Means a space, exclusive of Aisles and <i>Driveways</i> , to park one motor vehicle.
Parking Space, Accessible Accessible Parking Space Accessible Parking Spaces	Means a <i>Parking Space</i> that is accessible for those with mobility needs.
Party Wall	Means a wall common to two <i>Dwelling Unit(s)</i> joining the abutting units across a common interior <i>Lot Line</i> .
Personal Service Personal Services	Means a <i>Development</i> that provides personal services to an individual. This includes, but is not limited to barbershops, hairdressers, beauty salons, tailors, dry cleaning establishments and laundromats.

Term	Definition
Place of Worship	Means a facility where persons regularly assemble for religious worship.
Principal Building or Structure Principal Building Principal Structure	Means the Building or Structure required to accommodate the Principal Use of the Lot and which complies with all provisions of this Bylaw. For Reference See Figure 10
Principal Residence	A Principal Residence is the place where an individual lives for a longer period in the calendar year than any other place.
Principal Use Principal Uses	Means a permitted Use listed in a Zone , or the Use allowed by an approved Temporary Permit, that provides the dominant character (i.e. residential, commercial, Industrial etc.) and function of the Development , to which all Accessory Uses must be subordinate to, and/or in support of.
Public Park	Means land that is publicly owned or controlled for the purpose of providing recreation and/or open space for Public Use .
Public Transit Facility	Means a facility and associated land used for the storage, repair, or exchange of public transit vehicles, equipment and related Buildings .
Public Use Public Uses	Means any land, Buildings , uses, and structures that are owned, used, or operated by a governmental agency.
Public Utility Buildings, Structures & Services	Means a system, work, Building , plant, equipment or resource owned by a local government, public or private Utility company or other government agency for the provision of water, sewer, drainage, gas, electricity, transportation, communication services, community sewer system or public works yard.
Rear Lot Line	See Lot Line, Rear
Recreation – Outdoor	Means Buildings, Structures , or land that are available to the public for sports and active recreation conducted outdoors. Typical uses include sports fields, outdoor tennis courts, athletic fields, bowling greens, horseshoe pits, skateboard parks, playgrounds, volleyball courts, and includes Accessory Uses such as park maintenance and service facilities.
Recreation & Entertainment – Indoor	Means the Use of Buildings or Structures for recreation, amusement, or entertainment primarily conducted indoors, such as billiard halls, bowling alleys, arcades, fitness centres, sport facilities, gymnasiums, dance studios, theatres, cinemas, auditoria, swimming pools, concert halls, and galleries.

Term	Definition
Recreational Vehicle Recreation Vehicle	Means a transportable conveyance intended as a temporary accommodation for travel, vacation, or recreational Use and includes travel trailers, motorized homes, slide-in campers, chassis-mounted campers, boats, and tent trailers but not including a Manufactured Home.
Recycling Depot	Means a Building which is used or intended to be used for collecting, sorting, refunding, and redistributing recyclable materials but excludes processing.
Recycling Plant	Means a facility in which recoverable resources, including newspapers, magazines and other paper products, glass, and metal cans, are recycled, reprocessed and treated in order to return such products to a condition in which they may again be used (See Also: Junkyard).
Residential Boarding Home	Means the provision of short-term or long-term sleeping accommodation with or without meals within individual or communal sleeping rooms that do not have cooking facilities. Communal cooking facilities outside the sleeping rooms may be provided.
Residential Building	Means a Building used exclusively for residential purposes containing one or more Dwelling Unit(s) in conformity with the density requirements of the applicable Zone . For reference, see also Figure 12-18
Residential Building – Emergency Shelter & Services	Means a type of group housing for short-stays for people who are unhoused or at risk of becoming unhoused and may include associated social services, including counseling and food services.
Residential Building – Safe Home	Means a type of temporary group housing for individuals fleeing violence, where a transition house is not available in the community.
Residential Building – Transitional Housing	Means a type of group housing for residents that is typically between 30 days and three years with the aim to transition individuals to long-term, permanent housing.
Residential Building – Caretaker Home	Means one (1) Dwelling Unit , which is an Accessory Use to a non-residential Use and is used for the accommodation of one (1) caretaker, supervisor, watchman, or place of residence for the clergy of the associated Place of Worship .
Residential Building, 1-unit	Means a Building with one Dwelling Unit on a Lot . For reference, see also Figure 12
Residential Building, 2-units	Means a Building with two Dwelling Unit(s) on a Lot . For reference, see also Figure 14

Term	Definition
Residential Building, Manufactured Home	Means a single-wide or double-wide single unit <i>Dwelling</i> , constructed in a factory to CSA Z240MH standards, transported on its own chassis and placed on a permanent foundation complying with the BC <i>Building Code</i> , or on a temporary foundation complying with "CSA Z240.10.1 Site Preparation, Foundation, and Anchoring of Manufactured Homes", and does not include a <i>Recreation Vehicle</i> .
Residential Dwelling Unit(s) – Mixed-Use	Means residential units located within a <i>Mixed-Use Building</i> .
Residential Use	Means a <i>Use</i> providing for the accommodation and home life of a person or persons.
Retail Store Retail Stores	Means a commercial establishment which sells foods or merchandise to a consumer, but excludes: shopping centers; retail warehouses; vehicle sales and rental; <i>Building</i> supplies and lumber yards; outdoor markets; adult entertainment stores.
Retail Store with Bulk Sales	Means a commercial establishment which sells goods in bulk quantities and includes the sale of household goods such as furniture and carpeting, from a warehouse <i>Building</i> (See Also: department store, shopping center).
RV Sales & Service	Means the retail sale and storage of recreational vehicles and may include associated sales centre or <i>Office</i> .
Secondary Suite	Means an <i>Accessory Dwelling Unit</i> , located within the <i>Structure</i> of a one-unit <i>Dwelling</i> .
Setback Setbacks	Means the horizontal distance from the respective <i>Lot</i> lines to the <i>Building</i> .
Setback, Exterior Side Exterior Side Setback	Means the minimum distance between a <i>Building, Structure</i> , or permitted <i>Use</i> , and the Side <i>Lot Line</i> adjacent to a <i>Highway</i> or <i>Public Park</i> .
Setback, Front Front Setback	Means the minimum distance between a <i>Building, Structure</i> , or permitted <i>Use</i> , and the <i>Front Lot Line</i> .
Setback, Interior Side Interior Side Setback	Means the minimum distance between a <i>Building, Structure</i> , or permitted <i>Use</i> , and the boundary between two <i>Lots</i> .
Setback, Rear Rear Setback	Means the minimum distance between a <i>Building, Structure</i> , or permitted <i>Use</i> , and the <i>Rear Lot Line</i> .
Sewage Treatment Plant	Means a facility which operates a sewerage system and sewage treatment facilities that collect, treat, and dispose of human waste.

Term	Definition
Shipping Container	Means a standard, reusable container designed for or used in the shipping or other transportation of freight, and designed or constructed to be mounted or moved on a rail car or truck trailer.
Shopping Centre	Means a unified group of <i>Retail Stores</i> and <i>Personal Service</i> Establishments on a site planned, developed and managed as a single operating unit, with shared on-site parking.
Short-Term Vacation Rental	Means the rental of a <i>Dwelling Unit</i> or a portion of a <i>Dwelling</i> unit for less than 30 days.
Sight Triangle	Means a triangle on a <i>Corner Lot</i> formed by the intersecting <i>Lot</i> lines at a street corner and a line joining the points along the <i>Lot</i> lines 6.0 m (19.7 ft) from the point of intersection.
Sign	Means a visual device or <i>Structure</i> intended to advertise, announce, or draw the attention of the public.
Social Services – Daytime	Means a service or activity undertaken to advance the welfare of citizens in need. A social service may include supporting <i>Office</i> uses, supporting medical <i>Office</i> or clinic uses, supporting vocational or trade training, supporting personal services, or a food and goods distribution facility but does not include overnight accommodations or sleeping areas.
Social Services – Overnight	Means a service or activity undertaken to advance the welfare of citizens in need. A social service may include supporting <i>Office</i> uses, supporting medical <i>Office</i> or clinic uses, supporting vocational or trade training, supporting personal services, or a food and goods distribution facility and includes overnight accommodations or sleeping areas.
Special Care Facility	Means an institution or residential facility where care and attention is furnished, with or without charge on account of age, infirmity, physical or mental defect, or other disability which requires care and which is designated as a community care facility under the Community Care and Assisted Living Act.
Storage – Heavy Industry	Means a <i>Building</i> or group of <i>Buildings</i> consisting of individual, self-contained units leased to individuals, organizations or businesses for the storage of dangerous property and goods that may pose a risk to persons or property outside of the <i>Lot</i> they are stored on. This may include chemicals, large mater.
Storage Facility	Means a <i>Building</i> or group of <i>Buildings</i> consisting of individual, self-contained units leased to individuals, organizations or businesses for self-service storage of property and goods.

Term	Definition
Storey Storeys	Means that portion of a Building which is situated between the top of any floor and the top of the floor next above it, and if there is no floor above it, that portion between the top of such floor and the ceiling above it.
Street	Means a Highway 10.0 m or more in width (See Also: Lane).
Structure Structures	Means any construction fixed to, supported by, or sunk into land or water, excluding concrete and asphalt paving and similar surfacing of a ground (See Also: Building).
Technology & Data Centre	Means premises used to house computer systems and servers for the remote storage, processing, or distribution of large amounts of data.
Temporary Building	Means a Building that does not have its exterior walls supported on continuous concrete or masonry foundations or walls but shall not include a Manufactured Homes, except in the case of a Manufactured Home when located in a Commercial Zone on a short term or temporary basis while the Principal Building is being constructed. A Temporary Building or temporary Structure may be erected for construction purposes only on a Lot being developed for a period not to exceed the duration of the construction.
Trucking Depot	Means a business which provides storage, exchange, repair and maintenance of motor vehicles weighing more than 5,500 kg (12,000 lb).
Unit Density	Means the number of Dwelling Unit(s) per hectare of Lot Area ; (See Also: Lot Coverage, Floor Area Ratio).
Use	Means the purpose for which any Lot , tract of land, Building or Structure is designed, arranged or intended or for which it is occupied or maintained.
Useable Open Space	Means any part of a Lot which is not occupied or obstructed by any hard-surfaced Off- Street Parking or Buildings or any Structures except underground Structures .
Utility	Means a Use providing for the essential servicing of land with water, sewer, electrical, telephone, and similar services where such Use is established by a governmental body or by a company operating under the Utilities Commission Act or Telecommunications Act.
Vehicle Fuel Sales – Key Lock	Means a place of business where fuel is sold to commercial trucks or large motor vehicles and is operated without attendant (See Also: gasoline station, Bulk Fuel Depot).
Vehicle Fuel Sales – Retail	Means a place of business where automotive fuel and automotive accessories are sold to the public.

Term	Definition
Vehicle Rental	Means a business that rents vehicles on a temporary basis and may include storage of vehicles, a vehicle wash, and associated Office space.
Vehicle Repair – Body Shop	Means a place of business which repairs motor vehicle bodies by restoring, refinishing, and painting; (See Also: auto-repair shop, truck repair shop).
Vehicle Repair & Service	Means a Building used or intended to be used for major repairs to motor vehicles, trailers and parts thereof, but shall not include motor vehicle manufacture, assembly or bodyworks.
Vehicle Services	Means an establishment that services vehicles and includes, but is not limited to: <ul style="list-style-type: none"> · New or used vehicle sales; · Vehicle fuel sales; · Vehicle servicing and maintenance; · Vehicle washing; and/or · Vehicle rental.
Vehicle Wash	Means the Use of a site for washing and cleaning of passenger vehicles, recreational vehicles, or other light duty equipment.
Warehouse – Large Warehouse Large Warehouses	Means a Building used for the storage and distribution of large quantities of goods and does not include Small Warehouses (See Also: Small Warehouse).
Warehouse – Small Small Warehouse Small Warehouses	Means a warehouse or wholesale store with less than 900 m ² (9,687 ft ²) of gross Floor Area and does not include Large Warehouses .
Watercourse	Means any natural or man-made depression with well defined banks and a bed 0.6 m or more below the surrounding land serving to give direction to a current of water at least six (6) months of the year or having a drainage area of two (2) km ² or more upstream of the point of consideration.
Yard, Front Front Yard	Means the area of a Lot located between the Front Lot Line and the Building Line, Front . For reference, see also Figure 9
Yard, Rear Rear Yard	Means the area of a Lot located between the Rear Lot Line and the Rear Building Line . For reference, see also Figure 9
Yard, Side Side Yard	Means the area of a Lot located between the Interior or Exterior Side Lot Line and the Side Building Line . The Side Building Line is a line parallel to the Interior or Exterior Side Lot Line drawn across the Lot through the point where a Principal Building on the Lot is closest to the Interior or Exterior Side Lot Line . For reference, see also Figure 9

Term	Definition
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Zone Zones Means a *Zone* as established in this Bylaw.

Zone, Commercial Commercial Zone Means a *Zone* which is symbolized with letter "C", such as C-1 (Downtown Commercial) *Zone*, generally intended to accommodate commercial activities.

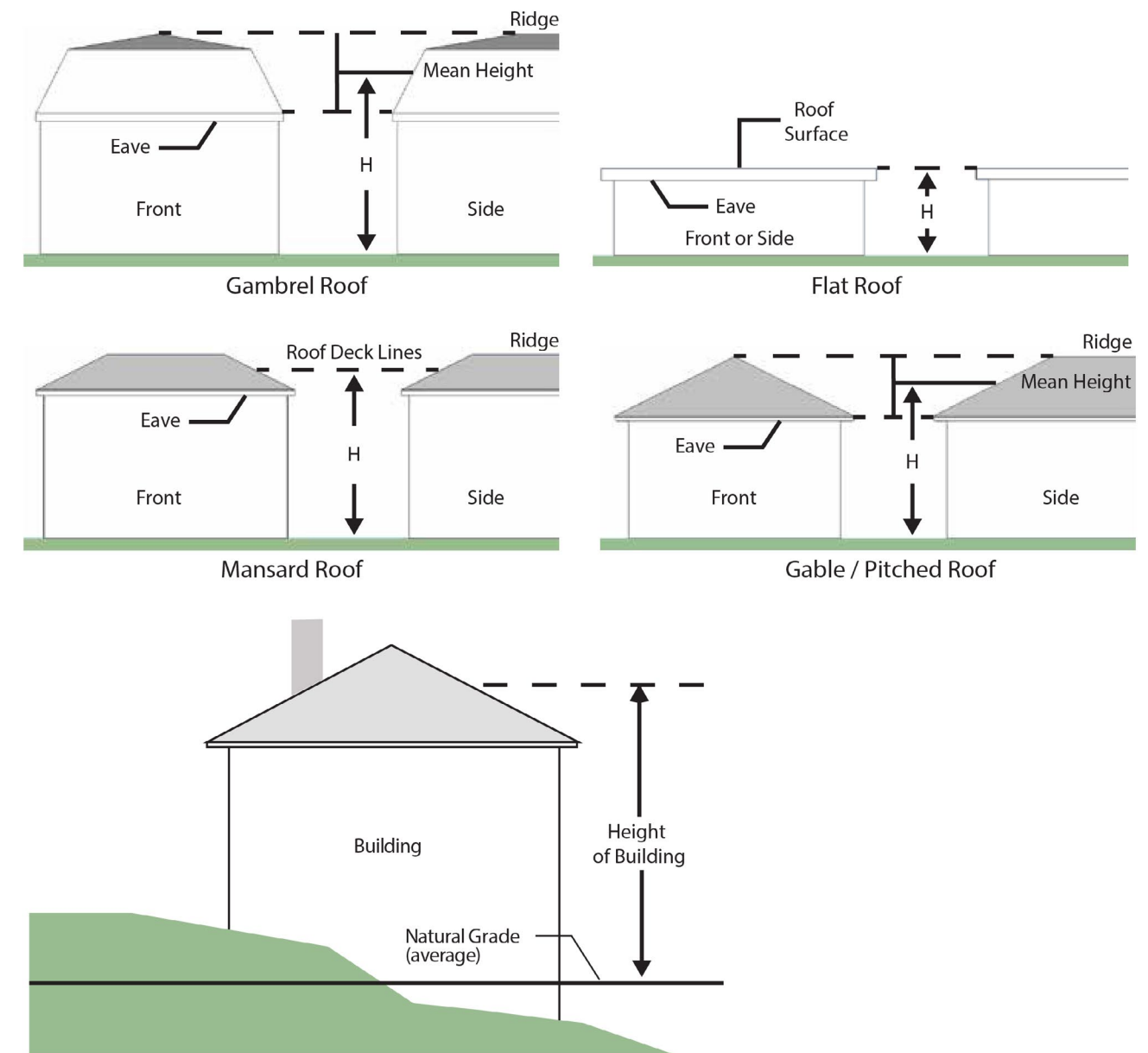
Zone, Comprehensive Development Comprehensive Development Zone Means a *Zone* which is symbolized with letter "CD", such as CD-1 (*Comprehensive Development Zone 1*), generally intended to accommodate the creation of site specific land *Use* regulations for properties within the *City* when circumstances are such that control by conventional zones would be inappropriate or inadequate and to provide for the *Development* of projects involving a mix of uses and/or a scale of *Development* not accommodated by other zones.

Zone, Residential Residential Zone Means a *Zone* which is symbolized with letter "R", such as R-1 *Zone*, generally intended to accommodate residential Uses.

Table 8: Definition Diagrams

The following diagrams are provided for convenience purposes only. If there is a discrepancy between the text definition and a diagram, the text prevails.

Figure 7: Building Height



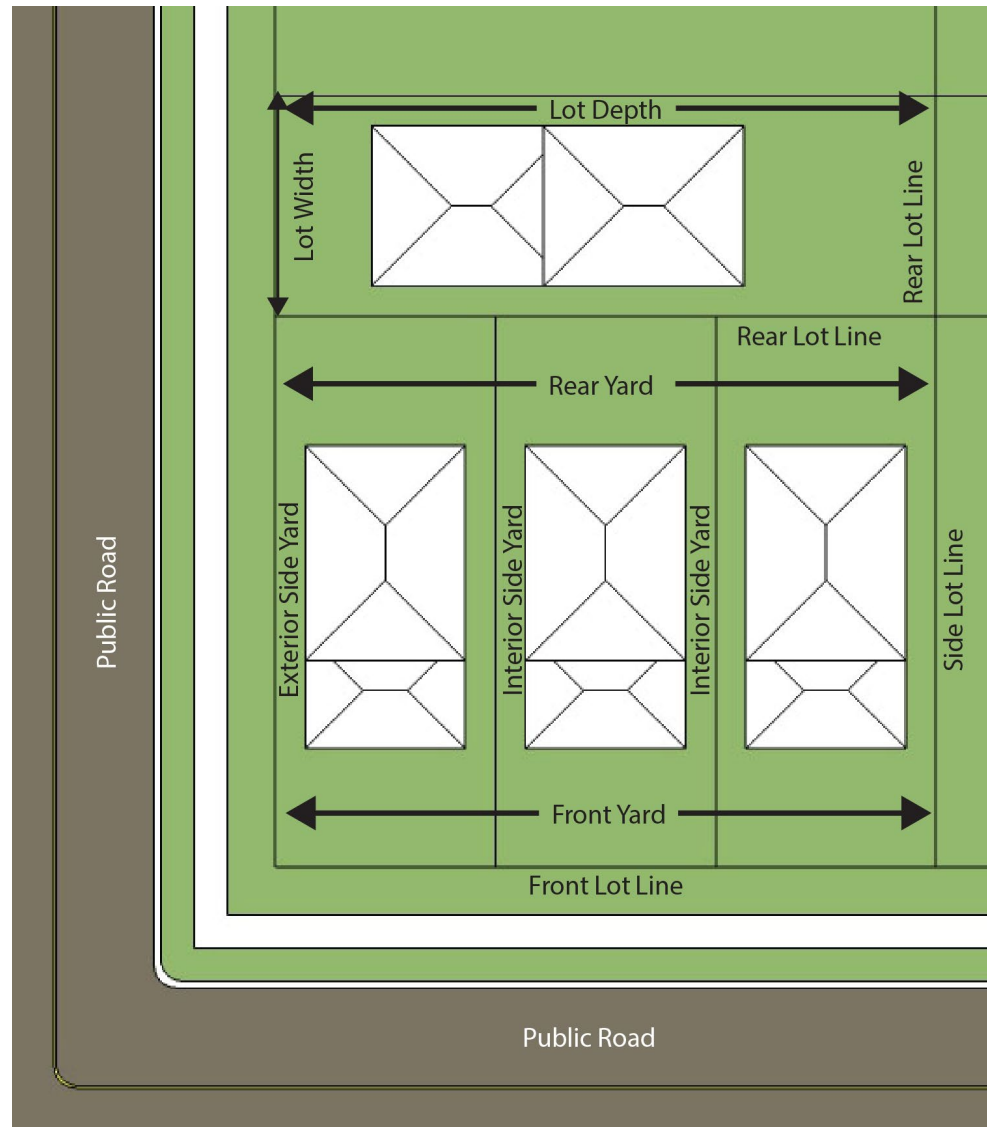
Source diagram from: The Zoning Trilogy.

Table 8: Definition Diagrams

Figure 8: Yard and Lot Definitions

Including:

- Interior *Side Yard*
- Exterior *Side Yard*
- *Rear Yard*
- *Side Lot Line*
- *Front Lot Line*
- *Rear Lot Line*
- *Lot Depth*
- *Lot Width*



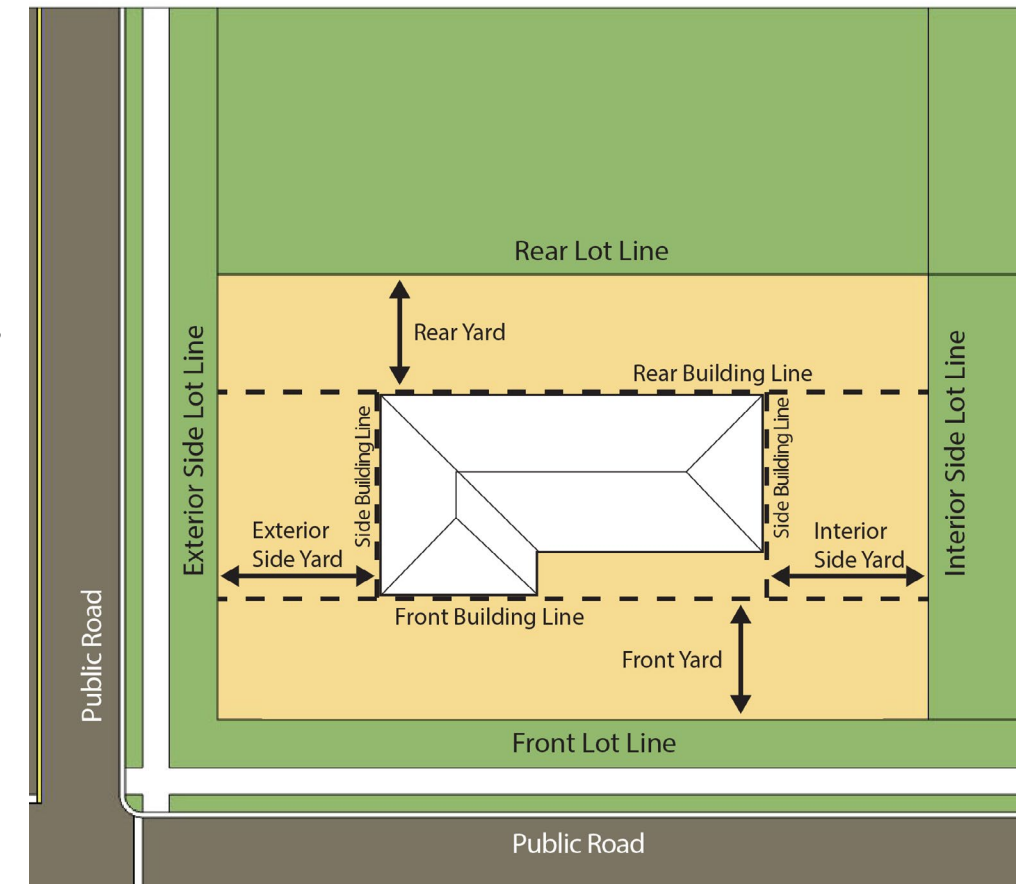
Source diagram from: The Zoning Trilogy

Table 8: Definition Diagrams

Figure 9: Yard and Building Line Definitions

Including:

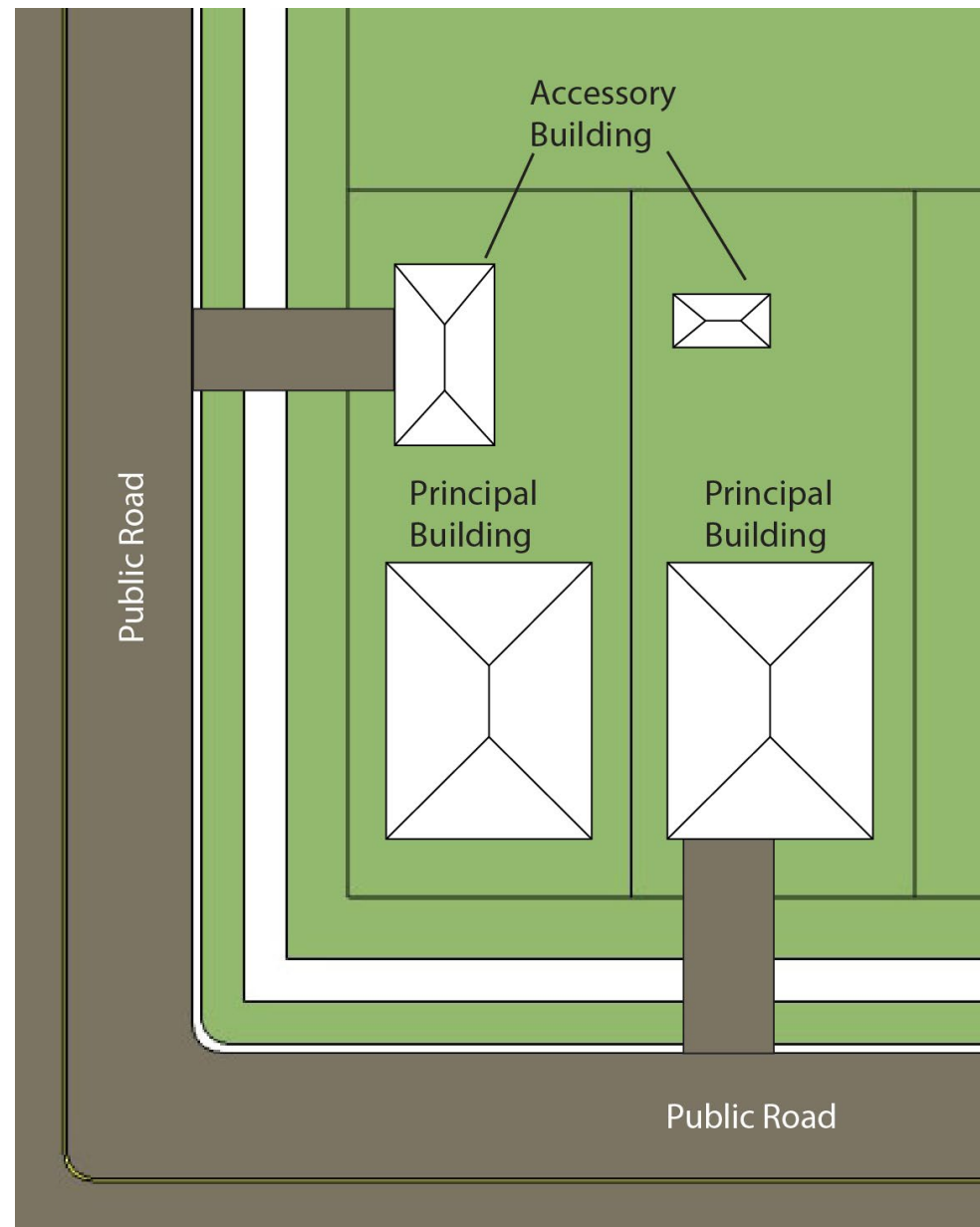
- *Front Yard*
- Exterior *Side Yard*
- Interior *Side Yard*
- *Rear Yard*
- *Front Lot Line*
- *Rear Lot Line*
- *Exterior Side Lot Line*
- *Interior Lot Line*
- *Front Building Line*
- *Side Building Line*
- *Rear Building Line*



Source diagram from: The Zoning Trilogy

Table 8: Definition Diagrams

Figure 10: Accessory Building or Structure and Principal Building

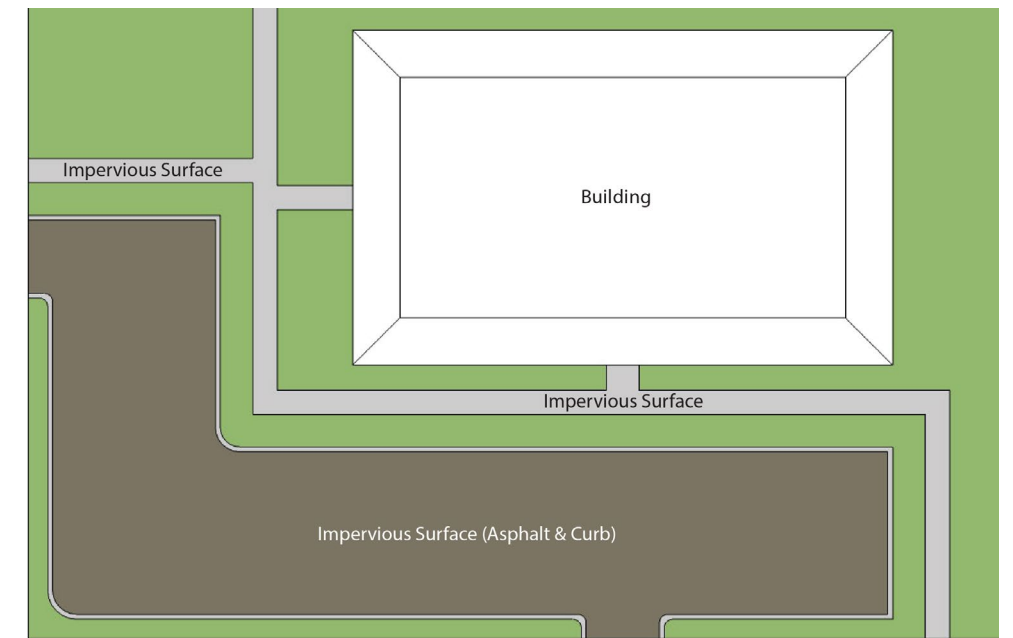


Source diagram from: The Zoning Trilogy

Table 8: Definition Diagrams

Figure 11: Impervious Surface

Means ground, covered ground, Buildings or Structures which water cannot infiltrate.



Source diagram from: The Zoning Trilogy

Dwelling Types

Figure 12: Residential Building, 1-unit

Total Dwelling Units: 1

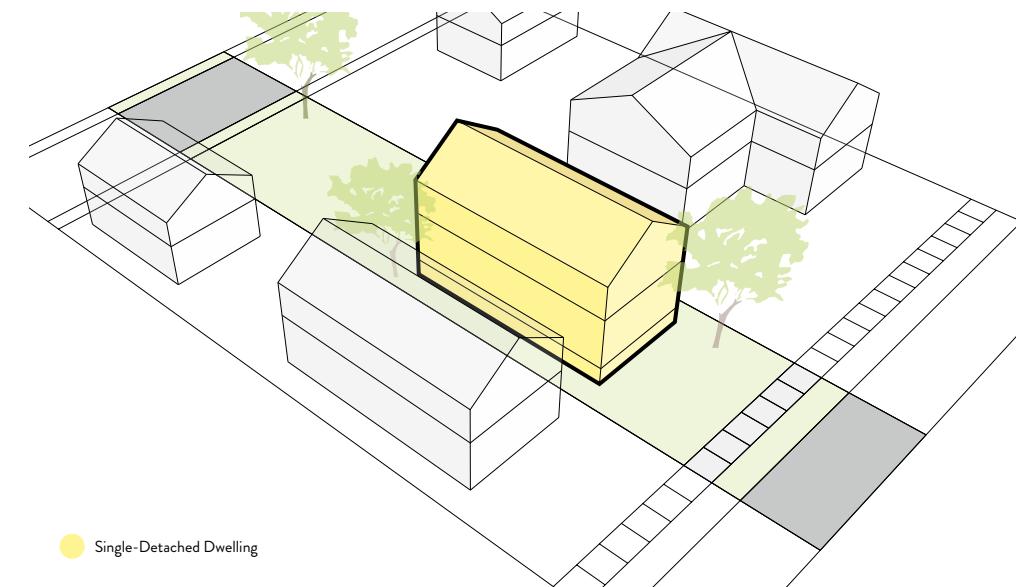


Table 8: Definition Diagrams

Figure 13: Residential Building, 1-unit with one Attached Accessory Dwelling Unit

Total Dwelling Units: 2

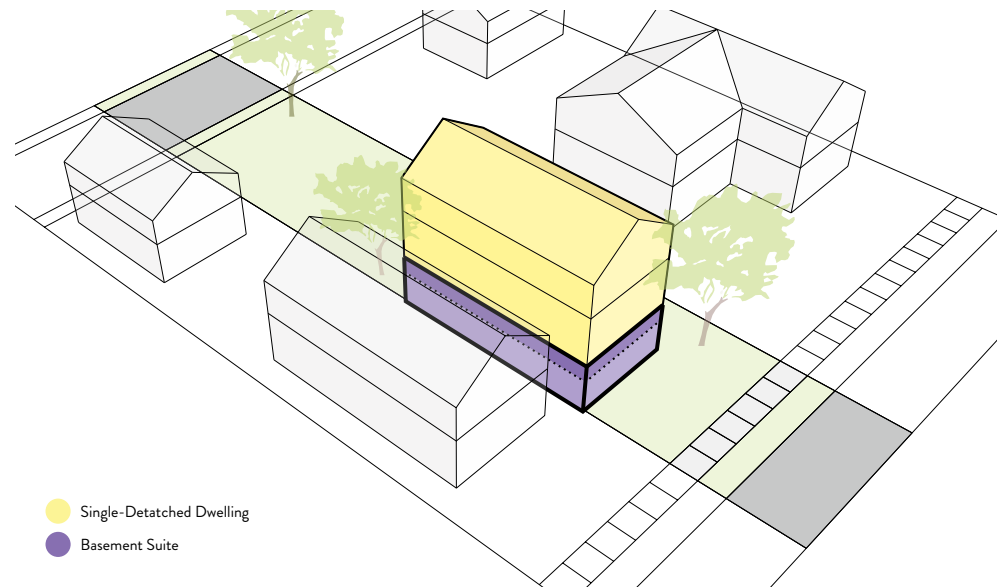


Figure 14: Residential Building, 2-units

(e.g. duplex)

Total Dwelling Units: 2

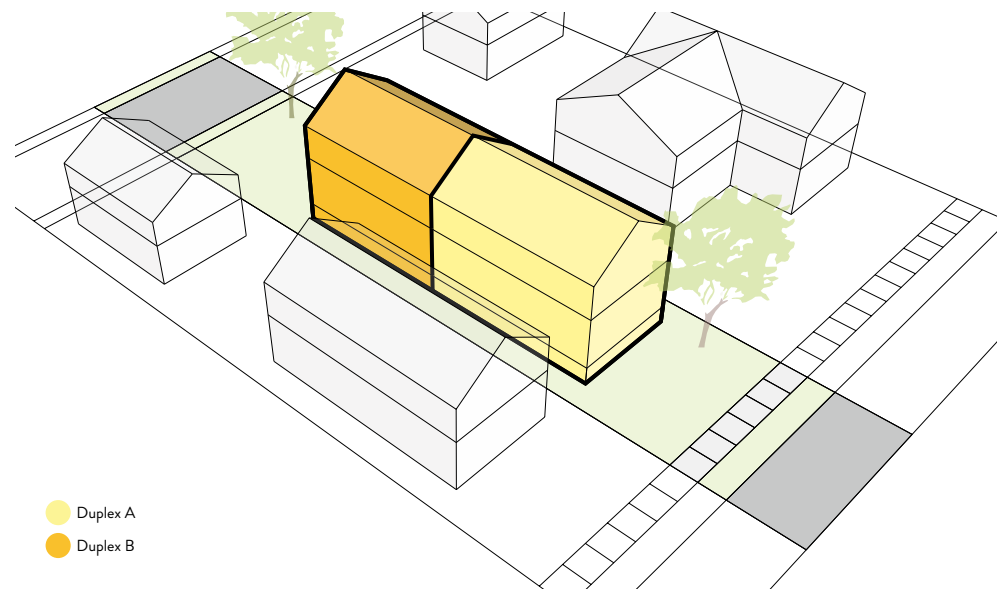


Table 8: Definition Diagrams

Figure 15: Residential Building, 1-unit with 3 Accessory Dwelling Units on Lot

(2 detached and 1 attached)

Total Dwelling Units: 4

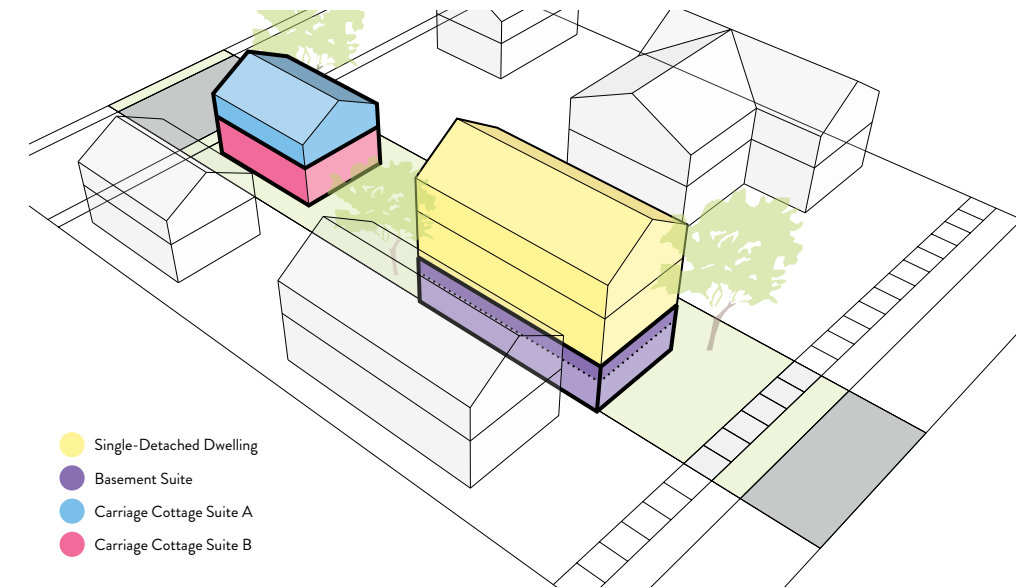


Figure 16: Residential Building, 4 Units

(i.e. fourplex)

Total Dwelling Units: 4

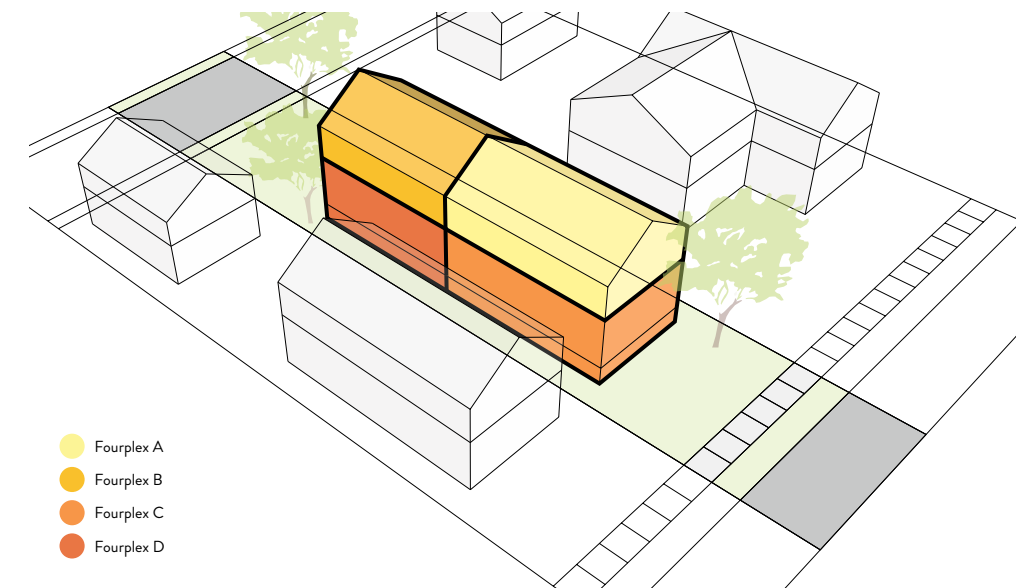


Table 8: Definition Diagrams

Figure 17: Residential Building, 8 Units

(i.e. townhouse)

Total Dwelling Units: 8

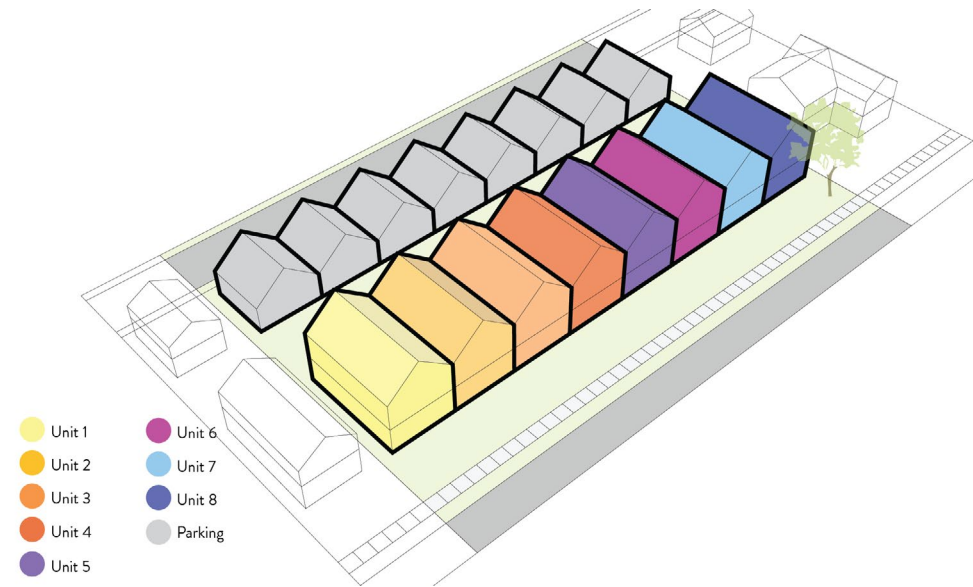
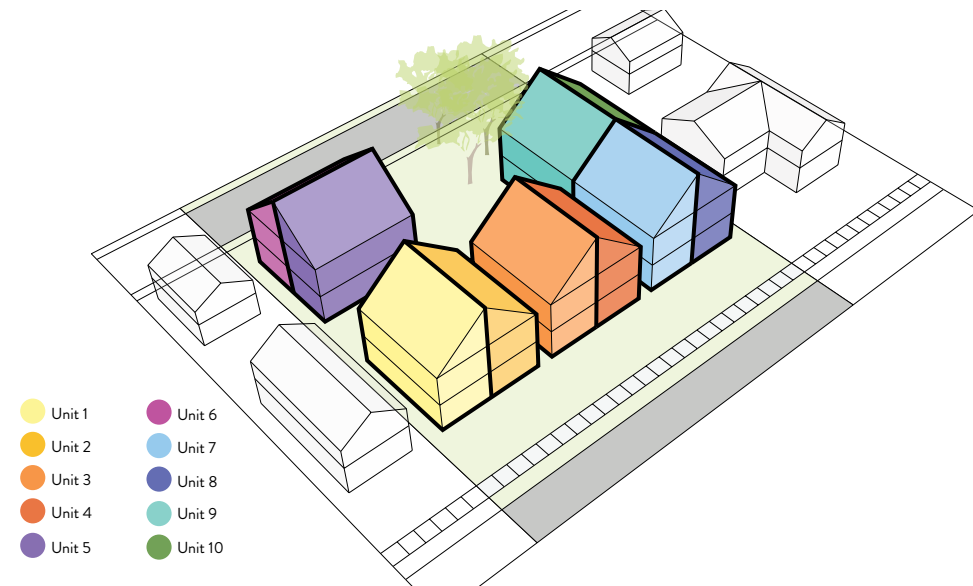


Figure 18: Strata Lot with Multiple Residential Buildings

Total Dwelling Units: 10



Part 11: Zoning Map

